

NOTICE OF MEETING

PLANNING SUB COMMITTEE

Monday, 10 October 2022, 7pm – George Meehan House, 294 High Road, Wood Green, London, N22 8JZ (watch the live meeting [here](#), watch the recording [here](#))

Councillors: Barbara Blake (Chair), Reg Rice (Vice-Chair), Nicola Bartlett, John Bevan, Lester Buxton, Luke Cawley-Harrison, George Dunstall, Ajda Ovat, Yvonne Say, Matt White and Alexandra Worrell

Quorum: three councillors

1. FILMING AT MEETINGS

Please note this meeting may be filmed or recorded by the Council for live or subsequent broadcast via the Council's internet site or by anyone attending the meeting using any communication method. Although we ask members of the public recording, filming or reporting on the meeting not to include the public seating areas, members of the public attending the meeting should be aware that we cannot guarantee that they will not be filmed or recorded by others attending the meeting. Members of the public participating in the meeting (e.g. making deputations, asking questions, making oral protests) should be aware that they are likely to be filmed, recorded or reported on. By entering the meeting room and using the public seating area, you are consenting to being filmed and to the possible use of those images and sound recordings.

The Chair of the meeting has the discretion to terminate or suspend filming or recording, if in his or her opinion continuation of the filming, recording or reporting would disrupt or prejudice the proceedings, infringe the rights of any individual, or may lead to the breach of a legal obligation by the Council.

2. PLANNING PROTOCOL

The Planning Committee abides by the Council's Planning Protocol 2017. A factsheet covering some of the key points within the protocol as well as some of the context for Haringey's planning process is provided alongside the agenda pack available to the public at each meeting as well as on the Haringey Planning Committee webpage.

The planning system manages the use and development of land and buildings. The overall aim of the system is to ensure a balance between enabling development to take place and conserving and protecting the environment and local amenities. Planning can also help tackle climate change and overall seeks to create better public places for people to live, work and play. It is important that the public understand that the committee

makes planning decisions in this context. These decisions are rarely simple and often involve balancing competing priorities. Councillors and officers have a duty to ensure that the public are consulted, involved and where possible, understand the decisions being made.

Neither the number of objectors or supporters nor the extent of their opposition or support are of themselves material planning considerations.

The Planning Committee is held as a meeting in public and not a public meeting. The right to speak from the floor is agreed beforehand in consultation with officers and the Chair. Any interruptions from the public may mean that the Chamber needs to be cleared.

3. APOLOGIES

To receive any apologies for absence.

4. URGENT BUSINESS

The Chair will consider the admission of any late items of urgent business. Late items will be considered under the agenda item where they appear. New items will be dealt with at item 14 below.

5. DECLARATIONS OF INTEREST

A member with a disclosable pecuniary interest or a prejudicial interest in a matter who attends a meeting of the authority at which the matter is considered:

- a. must disclose the interest at the start of the meeting or when the interest becomes apparent; and
- b. may not participate in any discussion or vote on the matter and must withdraw from the meeting room.

A member who discloses at a meeting a disclosable pecuniary interest which is not registered in the Register of Members' Interests or the subject of a pending notification must notify the Monitoring Officer of the interest within 28 days of the disclosure.

Disclosable pecuniary interests, personal interests and prejudicial interests are defined at Paragraphs 5-7 and Appendix A of the Members' Code of Conduct

6. MINUTES (PAGES 1 - 36)

To confirm and sign the minutes of the Planning Sub Committee held on 4 July 2022, 11 July 2022, and 21 July 2022 as a correct record.

7. PLANNING APPLICATIONS

In accordance with the Sub Committee's protocol for hearing representations; when the recommendation is to grant planning permission, two objectors may be given up to 6 minutes (divided between them) to make representations. Where the recommendation is to refuse planning permission, the applicant and supporters will be allowed to address the Committee. For items considered previously by the Committee and deferred, where the recommendation is to grant permission, one objector may be given up to 3 minutes to make representations.

8. HGY/2022/0823 - BROADWATER FARM ESTATE, N17 (PAGES 37 - 114)

Proposal: Demolition of the existing buildings and structures and erection of new mixed-use buildings including residential (Use Class C3), commercial, business and service (Class E) and local community and learning (Class F) floorspace; energy centre (sui generis); together with landscaped public realm and amenity spaces; public realm and highways works; car-parking; cycle parking; refuse and recycling facilities; and other associated works. Site comprising: Tangmere and Northolt Blocks (including Stapleford North Wing): Energy Centre; Medical Centre: Enterprise Centre: and former Moselle school site, at Broadwater Farm Estate.

Recommendation: GRANT

9. HGY/2022/ 0967 - 313 THE ROUNDWAY AND 8-12 CHURCH LANE, N17 7AB (PAGES 115 - 290)

Proposal: Demolition of existing buildings and erection of a three to five storey building with new Class E floorspace at ground floor and residential C3 units with landscaping and associated works.

Recommendation: GRANT

10. PRE-APPLICATION BRIEFINGS

The following items are pre-application presentations to the Planning Sub-Committee and discussion of proposals.

Notwithstanding that this is a formal meeting of the Sub-Committee, no decision will be taken on the following items and any subsequent applications will be the subject of a report to a future meeting of the Sub-Committee in accordance with standard procedures.

The provisions of the Localism Act 2011 specifically provide that a Councillor should not be regarded as having a closed mind simply because they previously did or said something that, directly or indirectly, indicated what view they might take in relation to any particular matter. Pre-application briefings provide the opportunity for Members to raise queries and identify any concerns about proposals.

The Members' Code of Conduct and the Planning Protocol 2016 continue to apply for pre-application meeting proposals even though Members will not be exercising the statutory function of determining an application. Members should nevertheless ensure that they are not seen to pre-determine or close their mind to any such proposal otherwise they will be precluded from participating in determining the application or leave any decision in which they have subsequently participated open to challenge.

11. PPA/2022/0017 - OSBORNE GROVE NURSING HOME / STROUD GREEN CLINIC, 14-16 UPPER TOLLINGTON PARK, LONDON, N4 3EL (PAGES 291 - 316)

Proposal: Demolition of the existing building and redevelopment of the Site to provide circa 70 nursing home beds, 10 nursing studios for homelessness end of life and 20 sheltered housing flats (Extra Care Flats). Proposals will also include a Day Centre for use of the residents and the wider community as part of a facility to promote ageing wellness.

12. UPDATE ON MAJOR PROPOSALS (PAGES 317 - 332)

To advise of major proposals in the pipeline including those awaiting the issue of the decision notice following a committee resolution and subsequent signature of the section 106 agreement; applications submitted and awaiting determination; and proposals being discussed at the pre-application stage.

13. APPLICATIONS DETERMINED UNDER DELEGATED POWERS (PAGES 333 - 436)

To advise the Planning Committee of decisions on planning applications taken under delegated powers for the period of the 19 June 2022 to 23 September 2022.

14. NEW ITEMS OF URGENT BUSINESS

To consider any items of urgent business as identified at item 3.

15. DATE OF NEXT MEETING

To note the date of the next meeting as Monday, 7 November 2022 at 7pm.

Fiona Rae, Acting Committees Manager
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Fiona Alderman
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George Meehan House, 294 High Road, Wood Green, N22 8JZ

Friday, 30 September 2022

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MINUTES OF THE PLANNING SUB-COMMITTEE MEETING HELD ON MONDAY, 4TH JULY 2022, 7.10 PM – 9.00 PM

PRESENT: Councillor Barbara Blake (Chair), Councillor Reg Rice (Vice-Chair), Councillor Nicola Bartlett, Councillor John Bevan, Councillor Lester Buxton, Councillor Luke Cawley-Harrison, Councillor Ajda Ovat, Councillor Yvonne Say, Councillor Matt White, and Alexandra Worrell.

1. FILMING AT MEETINGS

The Chair referred to the notice of filming at meetings and this information was noted.

2. PLANNING PROTOCOL

The Chair referred to the planning protocol and this information was noted.

3. APOLOGIES

Apologies for absence were received from Councillor George Dunstall.

4. URGENT BUSINESS

There were no items of urgent business.

Cllr Rice enquired why the Committee was not considering the minutes of the last meeting. The Chair noted that the minutes would be circulated when they were available.

5. DECLARATIONS OF INTEREST

There were no declarations of interest.

6. PLANNING APPLICATIONS

The Chair referred to the note on planning applications and this information was noted.

7. HGY/2022/0044 - 108 VALE ROAD, N4 1TD

The Committee considered an application for full planning permission for a comprehensive redevelopment of the site to provide four buildings comprising

flexible light industrial floorspace (Class E) and storage and distribution units (Class B8), together with car and cycle parking, plant and all highways, landscaping and other associated works.

James Mead, Planning Officer, introduced the report and responded to questions from the Committee:

- It was noted that the Urban Greening Factor (UGF) of the proposal would be 0.012 which was below the Mayor of London's guidelines, and it was enquired what the applicant had done to increase greening. The Head of Development Management noted that there was a conflict of policies in this case. It was explained that the non-compliance was considered to be outweighed in terms of the benefit of scheme (green v employment space). It was added that the application would result in additional greening in the form of street trees but, as it would be offsite, this could not be included as part of the official UGF calculation.
- It was clarified that there would be cladding which was considered to be appropriate for industrial use. The cladding would be robust, durable, and would be reflective of the industrial area. Some members of the Committee stated that all cladding should be shown to the Committee so that it could consider the proposed materials of developments. The Head of Development Management explained that the details of materials were generally not available when the Committee considered the application. It was noted that a tender process was often required before the materials were confirmed. It was suggested that additional detail could be provided on the appearance of proposals in the agenda papers. The Principal Urban Design Officer explained that there was a detailed condition on the materials for the proposal, that samples and details would require approval, and that the materials would be relatively non-flammable.
- It was noted that the application proposed a car-capped development with the only provision on the site and occupiers will not be eligible for business permits, but this would not impact existing developments.
- In relation to the sufficiency of parking, it was noted that the car parking would be booked in advance, managed, and conditioned as part of the application. The Transport Planning Team Manager explained that the applicant would need to provide a detailed Parking Management Plan. It was considered that the proposed parking provision was considered to be appropriate for the development. The applicant team added that most vehicle usage would be related to industrial use rather than for individual use or commuting.
- The Committee asked about the impact of the proposals on the permeability of the site for walking and cycling and how this would integrate with other sites. The Transport Planning Team Manager stated that the proposal was an improvement on the previous development. The applicant team noted that the site plans for the area were evolving but that there were opportunities for north to south permeability. It was added that the scheme would provide good cycling facilities, with approximately 83 cycle parking spaces as well as showering facilities for cycle users.
- It was clarified that the proposed solar panels would be in line with the pitch of the roof.
- It was explained that section 278 agreements were a mechanism to secure highways works. It was noted that, once the detailed design was confirmed, the required highways improvements would be considered.

- The applicant team stated that the applicant was planning to use the Council's Building Control Team.
- In relation to land contamination, the Head of Development Management explained that there was a process for investigations and that, as set out in the conditions, this would be subject to approval from the Local Planning Authority.
- The Committee asked about the proposed timeline for the District Energy Network (DEN). The Assistant Director of Planning, Building Standards, and Sustainability explained that the DEN was a wider project and that the Council's Cabinet had approved an outline business case in December 2021; it was anticipated that the full business case would be presented to Cabinet in 2023.
- In relation to a query about the types of businesses that would use the site, the applicant team explained that the scheme was proposed as an extension to the existing Florentia Clothing Village, and it was aimed to contribute to and build on the success of the area.

The Head of Development Management confirmed that the recommendation was to grant planning permission subject to conditions and a section 106 legal agreement, as set out in the report and the addendum.

Following a vote with 10 votes in favour, 0 votes against, and 0 abstentions, it was

RESOLVED

1. To GRANT planning permission and that the Head of Development Management is authorised to issue the planning permission and impose conditions and informatives subject to the signing of a section 106 Legal Agreement providing for the obligation set out in the Heads of Terms below.
2. That delegated authority be granted to the Head of Development Management or the Assistant Director of Planning, Building Standards and Sustainability to make any alterations, additions or deletions to the recommended heads of terms and/or recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee.
3. That the section 106 legal agreement referred to in resolution (1) above is to be completed no later than 31/08/2022 or within such extended time as the Head of Development Management or the Assistant Director of Planning, Building Standards and Sustainability shall in his sole discretion allow; and
4. That, following completion of the agreement(s) referred to in resolution (1) within the time period provided for in resolution (3) above, planning permission be granted in accordance with the Planning Application subject to the attachment of the conditions.

Conditions

- 1) Development begun no later than three years from date of decision
- 2) In accordance with approved plans
- 3) Use Restriction
- 4) Use Restriction (Units D1, D2, D3, D4 and D5)

- 5) Samples of Materials
- 6) Details of Gates
- 7) Electric Charging
- 8) Delivery and Servicing Plan
- 9) Construction Environmental Management Plan
- 10) Contamination
- 11) Unexpected Contamination
- 12) BREEAM Certificate
- 13) Energy Strategy
- 14) DEN Connection
- 15) Overheating
- 16) Biodiversity Net Gain
- 17) External Lighting
- 18) Secured by Design Accreditation
- 19) Secured by Design Certification
- 20) Parking Management Plan
- 21) Cycle Parking
- 22) Internal Route Safety Measures
- 23) Removal of Redundant Accesses
- 24) Planting of Street Trees
- 25) Noise (Plant)
- 26) Storage

Informatives

- 1) Land Ownership
- 2) Party Wall Agreement
- 3) Hours of Construction Work
- 4) Numbering
- 5) Asbestos
- 6) Signage & Advertisement Consent
- 7) Thames Water
- 8) Designing Out Crime Officer

Section 106 Heads of Terms

- 1) Employment Initiative – participation and financial contribution towards local employment and training:
 - a. Provision of a named Employment Initiatives Co-Ordinator;
 - b. Notify the Council of any on-site vacancies;
 - c. 20% of the on-site workforce to be Haringey residents;
 - d. 5% of the on-site workforce to be Haringey resident trainees;
 - e. Provide apprenticeships at one per £3m development cost (max. 10% of total staff); and
 - f. Provide a support fee of £1,500 per apprenticeship towards recruitment costs.
- 2) Sustainable Transport Initiatives:
 - a. Implementation of travel plan and monitoring of travel plan contribution of £3,000 per year for a period of 3 years;

- b. Contribution towards permit free with respect to the issue of business permits for the CPZ.

3) Carbon Mitigation:

- a. Submission of Energy Plan for approval by LPA
- b. Sustainability review on completion
- c. Additional Carbon offset Contribution – in the event that proposed carbon reduction targets are not met.
- d. Ensure the scheme is designed to take heat supply from the proposed DEN (including submission of DEN Feasibility Study)
- e. Design of secondary and (on-site) primary DHN in accordance with LBH Generic Specification and approval of details at design, construction, and commissioning stages.
- f. Use all reasonable endeavours to negotiate a supply and connection agreement with the DHN within a 10-year window from the date of a planning permission.
- g. Deferred carbon offset (if not connecting to the DEN) (£23,370)
- h. Implementation of low-carbon heating supply if not connecting to the DEN replacing the temporary heat solution
- i. 'Be Seen' Commitment to providing energy Data
- j. Solar PV monitoring

4) Monitoring Contribution:

- a. 5% of total value of contributions (not including monitoring);
- b. £500 per non-financial contribution
- c. Total monitoring contribution to not exceed £50,000

5) Additional head of term (set out in the addendum)

Contribution towards active and sustainable transportation modes- £50,000

CPZ Contribution £4000

S278 to secure works to the pavements within the vicinity of the site.

- 5. In the event that members choose to make a decision contrary to officers' recommendation, members will need to state their reasons.

- 6. That, in the absence of the agreement referred to in resolution (2.1) above being completed within the time period provided for in resolution (2.2) above, the planning permission be refused for the following reasons:

- 1. The proposed development, in the absence of a legal agreement to work with the Council's Employment and Skills team and to provide other employment initiatives, would fail to support local employment, regeneration and address local unemployment by facilitating training opportunities for the local population. As such, the proposal would be contrary to Policy SP9 of Haringey's Local Plan 2017.
- 2. The proposed development, in the absence of a legal agreement that secures 1) implementation and monitoring of a travel plan and 2) a contribution towards permit free with respect to the issue of business permits

for the CPZ, would fail to support sustainable transport and would give rise to unacceptable overspill parking impacts. Therefore, the proposal would be contrary to Policies T1 and T4 of the London Plan 2021, Policy SP7 of Haringey's Local Plan 2017 and Policies DM31 and DM32 of the Development Management DPD 2017.

3. The proposed development, in the absence of a legal agreement securing energy efficient measures, future connection to the DEN and a financial contribution towards carbon offsetting, would result in an unacceptable level of carbon emissions. Therefore, the proposal would be contrary to Policy SI2 of the London Plan 2021, Policy SP4 of Haringey's Local Plan 2017 and Policy DM21 of the Development Management DPD 2017.
7. In the event that the Planning Application is refused for the reasons set out in resolution (2.6) above, the Head of Development Management (in consultation with the Chair of Planning Sub-Committee) is hereby authorised to approve any further application for planning permission which duplicates the Planning Application, provided that:
 1. There has not been any material change in circumstances in the relevant planning considerations, and
 2. The further application for planning permission is submitted to and approved by the Assistant Director within a period of not more than 12 months from the date of the said refusal, and
 3. The relevant parties shall have previously entered into the agreement contemplated in resolution (1) above to secure the obligations specified therein.

8. HGY/2022/0011 - 573-575 LORDSHIP LANE, N22 5LE

The Committee considered an application for the Demolition of existing buildings and redevelopment of site to provide 17 affordable residential units (Use Class C3) with landscaping and other associated works.

Christopher Smith, Planning Officer, introduced the report and responded to questions from the Committee:

- It was explained that, on Lordship Lane, the site would be screened by a tree and that the development would not be significantly visible throughout the year.
- It was confirmed that there would be 10 homes provided at London Affordable Rent and seven homes provided at intermediate sale tenure. The Planning Officer explained that the Council would have a first option to purchase all units. It was noted that the amount potentially paid by the Council would be subject to negotiations.
- It was noted that the development would require a carbon offset payment. The Conservation Officer noted that there were a number of ways that carbon offset payments were spent, including retrofitting fuel poverty homes and fabric efficiencies.
- Some members of the Committee enquired whether a taller building had been considered in order to provide additional homes. The Principal Urban Design

Officer stated that the proposed height was considered to be appropriate height. It was explained that the neighbouring buildings were two storeys to the south and three storeys to the east. It was acknowledged that the petrol station was five storeys but that this was considered appropriate due to the road frontage.

- Some members of the Committee suggested that the proposed development had an oppressive design when viewed from the petrol station entrance. The Principal Urban Design Officer noted that the design faced away from the petrol station and allowed for the possibility of future redevelopment up to the site boundary. It was added that residents would not have to walk across the petrol station to access their homes.
- It was noted that the proposed colour of the brickwork had been selected to match the existing brickwork on Lordship Lane and Noel Park Estate.
- It was noted that there was a risk of some contamination issues on the site, and it was confirmed that the applicant would be using Haringey Council's Building Control Team.
- The applicant team clarified that it was aimed to connect the development to the District Energy Network (DEN) but that this would be subject to feasibility and viability considerations. For example, it was not yet confirmed whether there would be a DEN connection in the area. It was noted that air source heat pumps would provide heating to the properties but that the development would be designed to enable a connection to the DEN.
- It was noted that the site was located near a petrol station. The Planning Officer confirmed that an air quality assessment had been submitted and it was considered that there was no negative impact for the development. It was added that, according to Department for Environment, Food, and Rural Affairs (DEFRA) guidance, residential properties could be built no closer than 10 metres from a petrol pump; the properties in this development would be at least 13 metres from the petrol station canopy and this was considered to be acceptable. The applicant team added that the proposed building had also been re-oriented so that residential units were not overlooking the petrol station.
- In response to a question from the Committee, the applicant explained that it would be aimed to start the development within two years, rather than the maximum proposed period of three years. However, given the current environment for build costs and likely inflation, the applicant requested that the proposed condition and time period of three years was retained.
- Some members suggested that it would be helpful for the Committee to consider samples of the proposed bricks before determining the application. The Head of Development Management noted that Committees had been presented with brick samples previously where this was considered to be critical to the acceptability of a proposal. It was considered, in this case, that there were a number of acceptable options. It was added that the final materials could take a significant time to be confirmed but would be rigorously assessed as set out in the proposed conditions.
- Some members of the Committee expressed concerns that no members of the public had attended the meeting to address the Committee. The Head of Development Management noted that this was a major application which had involved a number of resident notifications, site notifications, and press notices. The applicant team also stated that the applicant had employed a community consultation consultant and had undertaken a process of direct consultation in addition to the statutory requirements.

The Head of Development Management confirmed that the recommendation was to grant planning permission as set out in the report.

Following a vote with 10 votes in favour, 0 votes against, and 0 abstentions, it was

RESOLVED

1. To GRANT planning permission and that the Head of Development Management or Assistant Director of Planning, Building Standards & Sustainability is authorised to issue the planning permission and impose conditions and informatives subject to the signing of a Section 106 Legal Agreement providing for the obligations set out in the Heads of Terms below.
2. That the section 106 legal agreement referred to in resolution (1) above is to be completed no later than 31st July 2022 or within such extended time as the Head of Development Management or the Assistant Director of Planning, Building Standards & Sustainability shall in her/his sole discretion allow; and
3. That, following completion of the agreement(s) referred to in resolution (1) within the time period provided for in resolution (2) above, planning permission shall be granted in accordance with the Planning Application subject to the attachment of the conditions; and
4. That delegated authority be granted to the Assistant Director of Planning, Building Standards & Sustainability/Head of Development Management to make any alterations, additions or deletions to the recommended heads of terms and/or recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee.

Conditions

- 1) Three years to commence
- 2) In accordance with plans
- 3) Materials details
- 4) Wheelchair accessible units
- 5) Satellite dish or antenna
- 6) Secured by design
- 7) External lighting
- 8) Accessible parking spaces
- 9) Parking restrictions
- 10) Construction logistics plan
- 11) Interim travel plan
- 12) Full travel plan
- 13) Boundary treatments
- 14) Landscaping details
- 15) Access from Moselle Avenue
- 16) Equipment noise limits
- 17) Sound insulation

- 18) Cycle parking
- 19) Delivery and servicing plan
- 20) Contamination investigation
- 21) Unexpected contamination
- 22) Environmental management plans
- 23) Considerate constructor scheme
- 24) Energy statement
- 25) Overheating mitigation
- 26) Living roofs
- 27) Ecological enhancements
- 28) Electric vehicle parking
- 29) Site drainage management
- 30) District energy network connection

Informatives

- 1) Proactive statement
- 2) Signage
- 3) Naming and numbering
- 4) Asbestos survey
- 5) Water pressure
- 6) Designing out crime contact
- 7) Environmental permit

Section 106 Heads of Terms:

- 1) Affordable Housing
 - 100% affordable housing
 - 60% London Affordable Rent, 40% intermediate sale/shared ownership
 - Council has time-limited first option to purchase homes
- 2) Loss of Employment Floor Space
 - Payment of a financial contribution of £24,711 towards promoting employment and adult education in Haringey
- 3) Car Free Development
 - No users of the residential units will be entitled to apply for residents, business or visitor parking permits in the vicinity of the development
 - The relevant Traffic Management Order (TMO) controlling local on-street parking must be amended for which a sum of £4,000 is required
- 4) Car Club Memberships
 - Establishment of a car club scheme in the vicinity of the development
 - Two years free membership for all residents
 - £50 credit per year for first two years for all residents

- Enhanced membership (three years free membership and £100 credit per year) for occupiers of the three-bedroom residential units, up to a maximum of two occupiers per unit

5) Travel Plan Monitoring

- The review and monitoring of the Travel Plan Statement (secured by condition) over a period of five years starting from the submission of the Full Travel Plan Statement (including the baseline staff travel survey). A financial contribution of £3,000 will be required to be paid in full to this effect.

6) Zero Carbon Measures

- Submission of a revised Energy Statement prior to implementation
- Submission of a Sustainability Statement within three months of occupation
- Carbon Offsetting contribution of £17,744 (including 10% management fee), 50% (plus management fee) to be paid on implementation and 50% on final approval of Sustainability Statement referenced above

7) Employment and Skills Plan

- Submit an ESP to the Council for its written approval 28 days prior to the implementation of the development
- Commit a named individual to engage with the Council's Employment and Skills Team and Construction Partnership Network
- Minimum 20% of the peak on-site workforce to be Haringey residents for a minimum of 26 weeks
- Provision for the delivery of bespoke skills-based training (20%) and traineeships (5%) for Haringey priority groups. These opportunities must be open to candidates (including priority groups) nominated by the Council (or another agency as agreed by the Council)
- Provision of apprenticeships nominated by the Council at one per £3m development cost (max. 10% of total construction workforce) supported by a fee of £1,500 per apprentice placement to cover the recruitment process
- Provision of work placements for unemployed and/or economically inactive Haringey residents
- Provision of STEM and/or Career Inspirational workshop sessions in agreement with the Council's Employment and Skills Team
- Other initiatives as recommended by the Council's Employment and Skills Team and Construction Partnership
- Support for suppliers and businesses which are based in Haringey to tender for such works as may be appropriate for them to undertake and/or support for locally based social enterprises including capacity building assistance through advice, business planning, mentoring and the purchase of products or services.

8) Monitoring Contributions

- £500 for all non-financial heads of terms above (£1,000)

- Contributions to be provided on implementation of the development to enable adequate monitoring over the course of its lifetime
5. In the event that members choose to make a decision contrary to officers' recommendation members will need to state their reasons.
 6. That, in the absence of the agreement referred to in resolution (1) above being completed within the time period provided for in resolution (2) above, the planning permission be refused for the following reasons:
 1. The proposed development, in the absence of a legal agreement securing a financial contribution to mitigate for the loss of employment floor space, would fail to safeguard local employment opportunities. As such, the proposal is contrary to Policy DM40 of the Development Management DPD 2017 and Policy SP8 of the Local Plan 2017.
 2. The proposed development, in the absence of a legal agreement securing the provision of affordable housing, would fail to secure mixed and balanced communities in the local area. As such, the proposal is contrary to Policy DM13 of the Development Management DPD 2017 and Policy SP2 of the Local Plan 2017.
 3. The proposed development, in the absence of a legal agreement securing parking permit restrictions and other parking control measures, would create an excess of on-street parking in the local area to the detriment of highway and public safety. As such, the proposal is contrary to Policy DM32 of the Development Management DPD 2017.
 4. The proposed development, in the absence of a legal agreement securing sufficient energy efficiency measures and/or financial contribution towards carbon offsetting, would result in an unacceptable level of carbon dioxide emissions. As such, the proposal would be contrary to Policy SI2 of the London Plan, Local Plan 2017 Policy SP4 and Policy DM21 of the Development Management DPD 2017.
 5. The proposed development, in the absence of a legal agreement to work with the Council's Employment and Skills team and to provide other employment initiatives would fail to support local employment, regeneration and address local unemployment by facilitating training opportunities for the local population. As such, the proposal is contrary to Policy SP9 of Haringey's Local Plan 2017.
 7. In the event that the Planning Application is refused for the reasons set out in resolution (5) above, the Head of Development Management (in consultation with the Chair of the Planning Sub-Committee) is hereby authorised to approve any further application for planning permission which duplicates the Planning Application provided that:
 - i. There has not been any material change in circumstances in the relevant planning considerations, and

- ii. The further application for planning permission is submitted to and approved by the Assistant Director within a period of not more than 12 months from the date of the said refusal, and
- iii. The relevant parties shall have previously entered into the agreement contemplated in resolution (1) above to secure the obligations specified therein.

9. HGY/2022/0081 - 15-19 GARMAN ROAD, N17 0UR

The Committee considered an application for the demolition of the existing industrial buildings and redevelopment to provide a new building for manufacturing, warehouse or distribution with ancillary offices on ground, first and second floor frontage together with 10 No. self-contained design studio offices on the third floor (Full Planning Application).

Kwaku Bossman-Gyamera, Planning Officer, introduced the report and responded to questions from the Committee:

- It was noted that Crossrail 2 was on alignment close to the site but that the site itself was not safeguarded for Crossrail 2 use. It was explained that there were some safeguarded sites further to the south which could only be granted temporary permissions in case they were required for Crossrail 2.
- The applicant team noted that the applicant was aiming to use Haringey Council's Building Control Team.
- The Committee enquired whether there was an opportunity to require some local employment clauses. The Head of Development Management noted that the section 106 heads of terms should include the standard local employment clause and recommended that this was included in the recommendation; this was agreed by the Committee.
- Some members of the Committee enquired about the measures to limit carbon dioxide emissions. The Head of Development Management explained that this would be addressed through a section 106 legal agreement. It was added that, if this were not agreed, planning permission could be refused on these grounds as set out in the recommendations (2.6).
- The Committee noted that there was not much greenery or landscaping in the area and enquired whether this would be included in the section 278 agreement. The Transport Planning Team Manager stated that this could be included as sustainable drainage as part of the section 278 agreement; this was agreed by the Committee.
- The applicant team noted that the date in the proposed recommendation (2.3) was incorrectly stated as 16 June 2022. The Head of Development Management stated that this date should be amended to 4 October 2022 and that, if required, this could be extended further.

The Head of Development Management confirmed that the recommendation was to grant planning permission as set out in the report and the addendum and subject to the following amendments:

- An additional section 106 head of term and amended and additional Conditions 16 and 22, as set out in the addendum.

- The amendment of the proposed recommendation (2.3) so that the section 106 legal agreement was completed no later than 4 October 2022 (rather than 16 June 2022).
- An additional head of term in the section 106 legal agreement to secure local employment during construction.
- An amendment to head of term 1 in the section 106 legal agreement to include tree provision as part of the section 278 agreement.

Following a vote with 10 votes in favour, 0 votes against, and 0 abstentions, it was

RESOLVED

1. To GRANT planning permission and that the Head of Development Management is authorised to issue the planning permission and impose conditions and informatives subject to the signing of a section 106 Legal Agreement providing for the obligation set out in the Heads of Terms below.
2. That delegated authority be granted to the Head of Development Management or the Assistant Director of Planning, Building Standards and Sustainability to make any alterations, additions or deletions to the recommended heads of terms and/or recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee.
3. That the section 106 legal agreement referred to in resolution (1) above is to be completed no later than 04/10/2022 or within such extended time as the Head of Development Management or the Assistant Director of Planning, Building Standards and Sustainability shall in his sole discretion allow; and
4. That, following completion of the agreement(s) referred to in resolution (1) within the time period provided for in resolution (3) above, planning permission be granted in accordance with the Planning Application subject to the attachment of the conditions.

Conditions (the full text of recommended conditions is contained in Appendix 1 of this report)

- 1) Development begun no later than three years from date of decision
- 2) In accordance with approved plans
- 3) Land contamination
- 4) Unexpected contamination
- 5) NRMM
- 6) Waste and recycling
- 7) Restrictive in use classes
- 8) Parking Design and management plan
- 9) External lighting
- 10) Secure by design
- 11) Energy Strategy
- 12) Future DEN Connection
- 13) Overheating (office spaces)

- 14) BREEAM Certificate
- 15) Living Roofs
- 16) Cycle parking Design and Layout
- 17) Drainage
- 18) Materials
- 19) Noise
- 20) CMP
- 21) Servicing and delivery plan
- 22) Public Highway condition

Informatives

- 1) Co-operation
- 2) CIL liable
- 3) Hours of construction
- 4) Party Wall Act
- 5) Hours of construction
- 6) Fire Brigade
- 7) Thames Water
- 8) Thames Water
- 9) Signage
- 10) Asbestos

Section 106 Heads of Terms:

- 1. Section 278 Highways works for crossover relocation and tree provision;
 - 2. Contribution of £4,000.00 toward the amendment of traffic management order,
 - 3. Carbon offsetting contribution of £76,950;
 - 4. Section 106 Monitoring Contribution;
 - 5. Commercial Travel Plan Statement (Interim and Full documents) and a monitoring contribution of £3,000; and
 - 6. Local employment during construction.
5. In the event that member choose to make a decision contrary to officers' recommendation members will need to state their reasons.
6. That, in the absence of the agreement referred to in resolution (1) above being completed within the time period provided for in resolution (3) above, the planning permission be refused for the following reasons:
- 1. *The proposed development, in the absence of a legal agreement to secure amendments to the traffic management order, by reason of its lack of measures to ensure the free flow of traffic and conditions of general safety along the neighbouring highway and would be detrimental to the amenity of local residents. As such, the proposal is contrary to Policies SP7 of the Local Plan 2017 and Policy DM13 of the Development Management Development Plan Document 2017.*
 - 2. *The proposed development, in the absence of a legal agreement securing sufficient energy efficiency measures and/or financial contribution towards*

carbon offsetting, would result in an unacceptable level of carbon dioxide emissions. As such, the proposal would be contrary to Policies SI2 and SI 4 of Planning Sub-Committee Report the London Plan 2021, Local Plan 2017 Policy SP4 and Policy DM21 of the Development Management Development Plan Document 2017.

7. In the event that the Planning Application is refused for the reasons set out in resolution (6) above, the Head of Development Management (in consultation with the Chair of Planning sub-committee) is hereby authorised to approve any further application for planning permission which duplicates the Planning Application provided that:
- (i) There has not been any material change in circumstances in the relevant planning considerations, and
 - (ii) The further application for planning permission is submitted to and approved by the Assistant Director within a period of not more than 12 months from the date of the said refusal, and
 - (iii) The relevant parties shall have previously entered into the agreement contemplated in resolution (1) above to secure the obligations specified therein.

10.UPDATE ON MAJOR PROPOSALS

There were no queries on the report. The Chair noted that any queries could be directed to the Head of Development Management.

It was noted that Station Road was due to be considered by Cabinet on 5 July 2022 and it was enquired whether modular buildings were still considered to be practical. It was noted that the applicant was exploring some issues. The Assistant Director of Planning, Building Standards, and Sustainability explained that some modular units were considered to be good quality, particularly those built-in factories and monitored closely; it was added that there were also some differences in high rise and low-rise buildings.

In relation to the Sir Frederick Messer Estate application, some members noted that this was already a dense estate and that it would be important to refurbish existing blocks. The Head of Development Management noted that there was a significant quantity of open space, and that this application would be considered closely.

The Committee requested that full application details, including postcodes, were provided for each major proposal.

It was expected that Woodridings Court would be progressing shortly. It was noted that Lynton Road had been subject to more recent discussions but was not progressing quickly. It was also commented that Crouch Hill had been removed as it was not expected to come forward; however, it was confirmed that the application would now be coming forward and it was due to be added to the next majors list.

It was confirmed that the Lockkeeper's Cottage application had been an ongoing issue for a significant time period but that it had been removed from the list as it had now been determined. It was noted that there had been some delays in the completion of the land transfer which had been beyond the Council's control.

In relation to Ashley House, the Head of Development Management noted that some masterplanning work had been conducted and it was anticipated that the application would be moving forward shortly. It was noted that a significant challenge for the site was keeping the bus depot operational throughout the development.

RESOLVED

To note the report.

11. APPLICATIONS DETERMINED UNDER DELEGATED POWERS

There were no queries on the report. The Chair noted that any queries could be directed to the Head of Development Management.

RESOLVED

To note the report.

12. NEW ITEMS OF URGENT BUSINESS

There were no items of urgent business.

13. DATE OF NEXT MEETING

It was noted that the date of the next meeting was 11 July 2022.

MINUTES OF THE PLANNING SUB-COMMITTEE MEETING HELD ON MONDAY, 11TH JULY, 2022, 7.00 PM – 9.30 PM

PRESENT: Councillor Barbara Blake (Chair), Councillor Reg Rice (Vice-Chair), Councillor Nicola Bartlett, Councillor John Bevan, Councillor Lester Buxton, Councillor Pippa Connor, Councillor George Dunstall, Councillor Ajda Ovat, Councillor Yvonne Say, Councillor Matt White, and Alexandra Worrell.

In attendance: Councillor Ruth Gordon, Cabinet Member for Council Housebuilding, Placemaking, and Development.

1. FILMING AT MEETINGS

The Chair referred to the notice of filming at meetings and this information was noted.

2. PLANNING PROTOCOL

The Chair referred to the planning protocol and this information was noted.

3. APOLOGIES

Apologies for absence were received from Councillor Luke Cawley-Harrison. Councillor Pippa Connor was present as substitute.

4. URGENT BUSINESS

There were no items of urgent business.

5. DECLARATIONS OF INTEREST

In relation to item 7, HGY/2022/0752 – Council Depot, Ashley Road, N17 9DP, Cllr Rice stated that he intended to take part in the discussion but did not intend to vote on the item. He noted that he did not have any pecuniary interests. Cllr Rice clarified that he would speak as a ward councillor in relation to the application. It was confirmed that he would not be taking part in the discussion or voting on this item and would leave the room after his submission, whilst the application was being discussed.

Cllr Rice enquired why the Committee was not considering the minutes of the last meeting. The Chair noted that the minutes would be circulated when they were available.

6. PLANNING APPLICATIONS

The Chair referred to the note on planning applications and this information was noted.

7. HGY/2022/0752 - COUNCIL DEPOT, ASHLEY ROAD, N17 9DP

Cllr Rice moved to the public seating area.

The Committee considered an application for full planning permission for the erection of 272 homes including 50% socially rented homes extending 4-13 storeys, 174sqm of flexible Use Class E floorspace along with a new vehicular access to the site, car parking and two pedestrian north south routes. The proposal also includes both private and public hard and soft landscaping throughout the site.

Christopher Smith, Planning Officer, introduced the report and responded to questions from the Committee:

- It was noted that there was a proposed requirement for the applicant to undertake an archaeological investigation. The Head of Development Management explained that any findings would not necessarily stop a development but would require certain processes to be followed.
- Some members of the Committee commented that some floors within the proposal would exceed the recommended number of homes per core set out in Standard 12 of the Housing Supplementary Planning Guidance (SPG). The Principal Urban Design Officer highlighted that the report should say units per floor per core rather than units per core. It was explained that, although some floors slightly exceeded the guidance, the proposal would be well-lit and well-ventilated and would avoid having long corridors.
- The Planning Officer stated that the proposed play space for under 5s was marginally below the play space estimate. However, it was explained that residents of the proposed development would be able to access 'play on the way' features located on key public routes in the area and these spaces would mean that the play space estimate would be exceeded.
- Some members enquired why the scheme would have some visitor parking but would exclude residents from applying for parking permits. The Transport Planning Team Manager explained that the Council's standard position was to seek car free developments where residents could not apply for parking permits. It was noted that visitor parking had less of a permanent impact and it was considered that this could be accommodated in the surrounding streets.
- In relation to concerns about vehicular dominance caused by the proposal, the Transport Planning Team Manager noted that the applicant would be required to submit Vehicular Access Control Arrangements. It was added that the scheme was a limited car development and that the site would be monitored for a period of five years; this would be secured by legal agreement.
- Some members noted that the Greater London Authority (GLA) had previously commented that they would not support the loss of a waste site in this area and it was enquired whether this had been resolved. The Planning Officer explained that there had been discussions with the GLA Waste Team and there was in principle agreement that the arguments in the report were accepted by the GLA.

It was noted that the application would be considered by the GLA formally in their Stage 2 comments.

- It was noted that legal requirements would normally be secured by section 106 legal agreements but it was enquired how this would be secured when the applicant was the Council. The Head of Development Management explained that the requirements would be secured through an exchange of letters between the relevant Council departments.
- The Planning Officer noted that social rent homes and market rent homes were generally in different blocks that were accessed by a single core for management reasons, such as maintaining a lower service charge for social rent homes. It was clarified that all residents would have the same access to amenities and open spaces.

Cllr Rice spoke in relation to the application to raise his concerns. He stated that the development was located on a substantial piece of land and he felt that there was a missed opportunity to have a park in this area. He commented that he welcomed housing but queried whether there would be sufficient recreational facilities. Cllr Rice stated that there had been insufficient consultation of people in the local area. He also noted that the Quality Review Panel (QRP) had stated that it would support clarity on entrances to ensure that natural desire lines were reinforced; he stated that this was confusing and he asked for clarity.

The Principal Urban Design Officer explained that the QRP had suggested clarity on the hierarchy of entrances in the proposal. It was stated that there was a hierarchy and that building entrances were located on main routes within the site.

In relation to the comments about consultation, the Assistant Director of Planning, Building Standards, and Sustainability noted that the local representations were set out on page 10 of the agenda pack. It was stated that notification letters had been sent out as required and that comments had been received. It was added that the applicant was also required to undertake their own consultation and might provide further detail about this.

Cllr Ruth Gordon, Cabinet Member for Council House Building, Place-Making, and Development, spoke in support of the application. It was noted that there had been two full consultations for the application which had been well attended by stakeholders in the ward. It was explained that a community group had been established for Down Lane Park in order to inform the redesign of the park. It was explained that this group would not be able, under its terms of reference, to comment on neighbouring developments but it was stated that there had been a positive reaction to the scheme.

Members of the applicant team addressed the Committee. Jo McCafferty, architect, stated that the development had a strong landscape focus and that 25% of the site would be green space. It was added that the scheme also resolved some difficult issues on the edge of Down Lane Park. It was noted that a number of trees would be provided across the site, that there would be Sustainable Urban Drainage Systems (SuDS), and that the Urban Greening Factor (UGF) exceeded the Greater London Authority (GLA) requirements.

At this point, Cllr Rice left the room.

In response to the points raised by councillors, the following responses were provided:

- Some members expressed concerns about the quantity of play space proposed in the scheme. Jo McCafferty, architect, stated that there was an intention to have a number of play opportunities as part of the development, and that this would be conditioned, but it was not quantified in the play space calculations. It was added that there would be an overprovision of play space for children aged 0-11 and that there would be a financial contribution for play space for those aged 11 and over which would be co-produced with local residents.
- Some members of the Committee asked whether the scheme could provide an opportunity to address the nearby underpass access to Lee Valley. The Assistant Director of Housing noted that the application would result in significant contributions, including financial contributions, affordable housing, and family sized units. It was suggested that the access to Lee Valley was a larger issue and might need to be addressed outside of this scheme.
- It was confirmed that the private properties would be leasehold. It was added that the parking spaces would be available for 3-bed and 4-bed homes which were all social rent and accessible homes.
- Regarding lifts and fire safety, Jo McCafferty, architect, noted that all buildings with accessible homes would have two lifts and other buildings would have one lift. It was explained that buildings over 18 metres high would have firefighting shafts and lifts and all buildings lower than 18 metres would have a dry riser which would enable access to firefighters and their equipment. It was added that the fire safety arrangements were in accordance with emerging guidance.
- In response to questions about cycle parking, the applicant team clarified that the scheme would provide secure cycle parking in excess of the GLA requirements. It was explained that the cycle parking would be distributed across the development and that it was aimed to provide a number of secure, internal areas.
- In relation to bike ownership rates, the Assistant Director of Planning, Building Standards, and Sustainability noted that there were some wider council schemes to support bike ownership, such as the Try Before You Buy bike scheme and the Walking and Cycling Action Plan.
- Following a question about materials, Jo McCafferty, architect, noted that the vast majority of the proposal would have brick elevations and pre-cast concrete would be used in minimal areas to highlight lintels or for banding in elevations. It was stated that the colour palette matched the adjacent context. It was highlighted that the development would use glazed bricks, rather than ceramic tiles as stated in the report. It was noted that a small quantity of glazed bricks would be used to mark key openings in the development and it was added that these materials could be wiped clean.
- In relation to the balcony design, the applicant team explained that the banisters would be angled so that, from certain directions, they would appear solid. It was stated that the applicant had aimed to design buildings that worked well together. It was added that the application had been considered twice by the Quality Review Panel (QRP), that there had been significant contact with the Planning Team, and that the design had evolved in line with the advice and guidance received.

- Jo McCafferty, architect, clarified that the scheme would not be completely Passivhaus certified. It was explained that some of the proposed buildings were smaller and would not have flat roofs for contextual reasons and that this meant that achieving full Passivhaus certification was almost impossible.
- Some members of the Committee enquired about the changes that had been made to the proposal in response to consultation. The Housing Planning Officer noted that, following the first round of consultation, the height of the building on Park View Road had been reduced by one storey. Jo McCafferty, architect, added that, following consultation with the QRP, Planning Department, and residents, the proposed sawtooth roof had been simplified and would now run alongside the surrounding trees rather than significantly higher.
- In relation to the proposed building design on the corner of Park View, Havelock, and Dowsett Roads, the Principal Urban Design Officer explained that it was considered important to have a building in this location that could hold the corner. It was added that the building was considered to be of high quality design.
- In relation to a question about the accessibility of the units, the applicant team confirmed that the relevant units would be fully accessible and would include strengthened joists. The Assistant Director of Housing added that the council had a bespoke housing programme which identified specific residents and designed homes that were specific to their needs.
- In response to a question, the Assistant Director of Housing confirmed that the applicant would be conducting a post-occupancy resident survey and would be happy to condition this. It was noted that the condition wording was used in another recent application, HGY/2021/2727 - Cranwood, 100 Woodside Avenue, London, N10 3JA, and could be replicated for this application.

The Head of Development Management confirmed that the recommendation was to grant planning permission, as set out in the report and the addendum and subject to an additional condition to require a post-occupancy resident survey.

Following a vote with 8 votes in favour, 0 votes against, and 2 abstentions, it was

RESOLVED

1. To GRANT planning permission and that the Head of Development Management or the Assistant Director of Planning, Building Standards & Sustainability is authorised to issue the planning permission and impose conditions and informatics subject to the signing of a legal agreement providing for the obligations set out in the Heads of Terms below.
2. That delegated authority be granted to the Head of Development Management or the Assistant Director Planning, Building Standards and Sustainability to make any alterations, additions or deletions to the recommended heads of terms and/or recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee.
3. That the agreement referred to in resolution (1) above is to be completed no later than 31st August 2022 within such extended time as the Head of Development

Management or the Assistant Director Planning, Building Standards & Sustainability shall in her/his sole discretion allow; and

4. That, following completion of the agreement(s) referred to in resolution (1) within the time period provided for in resolution (3) above, planning permission be granted in accordance with the Planning Application subject to the attachment of the conditions.
5. Planning obligations are usually secured through a S106 legal agreement. In this instance the Council is the landowner of the site and is also the local planning authority and so cannot legally provide enforceable planning obligations to itself.
6. Several obligations which would ordinarily be secured through a S106 legal agreement will instead be imposed as conditions on the planning permission for the proposed development.
7. It is recognised that the Council cannot commence to enforce against itself in respect of breaches of planning conditions and so prior to issuing any planning permission measures will be agreed between the Council's Housing service and the Planning service, including the resolution of non-compliances with planning conditions by the Chief Executive and the reporting of breaches to portfolio holders, to ensure compliance with any conditions imposed on the planning permission for the proposed development.
8. The Council cannot impose conditions on planning permission requiring the payment of monies and so the Director of Placemaking and Housing has confirmed in writing that the payment of contributions for the matters set out below will be made to the relevant departments before the proposed development is implemented.
9. Summary of the planning obligations for the development is provided below:
 - Affordable housing – 136 homes at Council rents
 - Parking permit restrictions
 - TMO amendments (£5,000)
 - Travel plan monitoring (£10,000)
 - CPZ review and amendments (£20,000)
 - Car club contributions
 - Off-site highway works
 - Improvements to public realm east and west of Down Lane Park (£120,000)
 - Improvements to Park View Road underpass, including lighting (£140,000)
 - Contribution towards North Tottenham Low Traffic Neighbourhood (£50,000)
 - Monitoring of construction works (£20,000)
 - Community-led site hoarding design (£5,000)
 - Community plant growing initiatives (£10,000)
 - Carbon offsetting contribution (£145,350)
 - Play space contribution (£172,738.50)

- Metropolitan Police contribution (£21,296.42)
- Employment and Skills plan and measures
- Employment and Skills management and apprenticeship support contribution (£76,923.59)

Cllr Rice did not take part in the voting and re-entered the room at the end of the item.

At 8.30pm, the Committee agreed a brief adjournment. The meeting resumed at 8.45pm.

8. PRE-APPLICATION BRIEFINGS

The Chair referred to the note on pre-application briefings and this information was noted.

9. PPA/2022/0006 - HORNSEY POLICE STATION, 98 TOTTENHAM LANE, N8 7EJ

The Committee considered the pre-application briefing for the retention of existing Police Station building (Block A) with internal refurbishment, rear extensions and loft conversions to create 6 terrace houses and 4 flats. Erection of two buildings comprising of Block C along Glebe Road and Harold Road to create 8 flats and erection of Block B along Tottenham Lane and towards the rear of Tottenham Lane to create 7 flats and 4 mews houses including landscaping and other associated works.

The applicant team and officers responded to questions from the Committee:

- The Committee noted that the police station was a community use building and that, under Council Policy DM49, there was a requirement to seek alternative community uses for the building, including through marketing; it was enquired whether this had been undertaken. The applicant team stated that the pre-application had outlined the change of use and had been supported and it was believed that no further marketing was required in relation to DM49. The applicant team explained that the police station was considered to be sui generis use rather than community use. The Head of Development Management noted that this would require confirmation.
- In relation to the elevations and pitched roof, the applicant team explained that the application did not aim to create a pastiche or replicate existing buildings in the area. It was stated that the design was more contemporary and that the proposed undulations took inspiration from the local context.
- Regarding resident concerns about daylight, the applicant team stated that there had been a daylight and sunlight assessment. It was noted that all Building Research Establishment (BRE) guidelines had been met and that there would be no infringements for overshadowing on neighbouring properties.

- It was confirmed that the affordable housing provision, including type and tenure, was provisional. The current proposal was to have eight affordable units, subject to the conclusion of the viability assessment.
- The applicant team noted that a transport assessment and parking stress survey had been conducted which found that there were sufficient parking spaces. It was clarified that only the 12 family sized units would have access to parking.
- Some members of the Committee expressed concerns that waste would be collected from the roadside which would have a negative impact on the nearby junction. The applicant team stated that waste collection was currently from the roadside and it was proposed to maintain this. It was added that introducing waste collection from within the site would negatively impact the landscaping and greening of the site. It was added that the number of bin stores had been calculated in line with the Council's requirements.
- The applicant team clarified that some changes had been made to the design of the proposal in response to comments from the Quality Review Panel (QRP). It was noted that Block C now included different brick treatment, dormers, and low level planting in order to look more interesting.
- In response to a question about conservation and resident views, the applicant team stated that a heritage consultant had been used and a heritage assessment had been drafted. It was noted that a number of comments had been received throughout the process, including strong, positive feedback for Blocks B and C. It was stated that design was subjective and that some people had requested more traditional design whilst others had requested more architecturally styled design. The applicant team explained that the proposed design was informed by the design context, feedback from residents, and feedback from the Planning Team.
- In relation to internal landscaping, the applicant team noted that there would be seating areas on raised sculptural forms and it was aimed to have a congregation space. It was highlighted that all units would have access to these areas and that there would be natural surveillance through overlooking of the communal area.
- Some members enquired whether the Committee would be able to consider examples of finished materials in order to make a decision. The Head of Development Management explained that materials would only be brought before the Committee if they were of fundamental importance.

The Chair thanked the applicant team for attending.

10. NEW ITEMS OF URGENT BUSINESS

There were no items of urgent business.

11. DATE OF NEXT MEETING

It was noted that the date of the next meeting was 21 July 2022.

MINUTES OF THE PLANNING SUB-COMMITTEE MEETING HELD ON THURSDAY, 21ST JULY, 2022, 7.00 PM – 10.07 PM

PRESENT: Councillor Barbara Blake (Chair), Councillor Reg Rice (Vice-Chair), Councillor Nicola Bartlett, Councillor John Bevan, Councillor Lester Buxton, Councillor Luke Cawley-Harrison, Councillor Emine Ibrahim, Councillor Ajda Ovat, Councillor Matt White, and Councillor Alexandra Worrell.

In attendance: Councillor Ibrahim Ali, Bruce Castle ward, and Councillor Dana Carlin, Cabinet Member for Housing Services, Private Renters, and Planning.

1. FILMING AT MEETINGS

The Chair referred to the notice of filming at meetings and this information was noted.

2. PLANNING PROTOCOL

The Chair referred to the planning protocol and this information was noted.

3. APOLOGIES

Apologies for absence were received from Councillors George Dunstall and Yvonne Say. Councillor Emine Ibrahim was present as substitute.

4. URGENT BUSINESS

There were no items of urgent business.

5. DECLARATIONS OF INTEREST

In relation to item 8, HGY/2021/3175 – High Road West, London, N17, Cllr Ibrahim stated that she had a personal interest. As one of the objectors for the item was Tottenham Hotspur Football Club, Cllr Ibrahim noted that she was an Arsenal supporter and a member of AISA (Arsenal Independent Supporters' Association). She stated that she considered this non-prejudicial and would therefore take part in the discussion and voting, would be considering the item with an open mind, and would take all material planning considerations into account.

In relation to item 8, HGY/2021/3175 – High Road West, London, N17, Cllr Bevan noted that he had received tickets to the Tottenham Hotspur Stadium for a Guns N' Roses concert (although these had been donated). Cllr Bevan also noted that he was a member of the Spurs Resident Consultative Group. Cllr Bevan considered this

to be a non-prejudicial personal interest and therefore confirmed that he would take part in the discussion and voting, would be considering the item with an open mind, and would take all of the material planning considerations into account.

6. MINUTES

It was noted that the minutes of the Planning Sub-Committee held on 6 June 2022 would be considered at a future meeting.

7. PLANNING APPLICATIONS

The Chair referred to the note on planning applications and this information was noted.

8. HGY/2021/3175 – HIGH ROAD WEST, LONDON, N17

The Sub-Committee considered an application for a hybrid planning application seeking permission for 1) Outline component comprising demolition of existing buildings and creation of new mixed-use development including residential (Use Class C3), commercial, business & service (Use Class E), business (Use Class B2 and B8), leisure (Use Class E), community uses (Use Class F1/F2), and Sui Generis uses together with creation of new public square, park & associated access, parking, and public realm works with matters of layout, scale, appearance, landscaping, and access within the site reserved for subsequent approval; and 2) Detailed component comprising Plot A including demolition of existing buildings and creation of new residential floorspace (Use Class C3) together with landscaping, parking, and other associated works (EIA development – ES viewable on Council website & at The Grange N17).

Mr Philip Elliott, Planning Officer, presented the item. In response to questions from Members, Mr Elliott informed the Sub-Committee that:

- Additional objections had been received from Tottenham Hotspur FC, the Metropolitan Police Service Security Advisor, and other interested parties.
- There were some clarifications and corrections which were set out in full in the addendum. He note that there was an error on page 66 of the agenda papers In table X Line 2 should read social rent with 1730 hab rooms, 23.6%; and line 3 should read shared ownership with 1164 hab rooms, 15.9%.
- Tottenham Hotspur had also submitted objections regarding crowd flow. The Council's independent crowd flow adviser had considered the issues and felt that they had already been addressed.
- The Metropolitan Police Service Security Advisor had clarified that they had no objection per se to the proposed development but highlighted the need for the crowd flow arrangements to be shared with Tottenham Hotspur, the British Transport Police, and emergency services for comment.
- The calculation of 240 full-time posts had been derived from a provision of 392 minimum jobs based on the minimum floor space provision in the lowest employment generating uses.

- The business relocation strategy would not result in job losses in the majority of cases as they would be reallocated elsewhere.
- There was a package of design work for the reserved matters that would be subject to further assessments from both officers and members. The aim of this would be to maximise the number of multiple aspect units. In some cases, this would not be possible due to contextual constraints.
- Where single aspect units were proposed, they tended to be in areas where there would be a better outlook on parks and open spaces. The range of floorspace and flexibility had been requested to allow the developer to respond to market needs.
- The Sub-Committee was recommended to grant permission regarding the range of floorspace set out in the report.
- There would be a potential net increase in jobs.
- There was an existing health facility on site and a planning obligation to re-provide that floorspace.
- There was an obligation to meet any uplift in healthcare demand. There was existing planning permission for a health facility at Tottenham Hotspur. If this did not come to fruition, then applicant still had the obligation to provide sufficient floorspace to meet the uplift in need.
- The definition of the word 'vicinity', as stated in the report, could be something that could be made clearer when the section 106 was drafted.
- The environmental impact assessment required modelling of the worst-case scenarios. Although it was possible to maximise commercial floorspace and reduce units, there were a number of scenarios and it was not possible to consider them all.
- The Council owned the land south of White Hart Lane towards the Love Lane estate, the local library and the community centre nearby. The 500 social homes would be in that area of the land; it was approximately 2.8 hectares.
- The document submitted by Tottenham Hotspur was considered to be an unlikely hypothesis, partly due to the parameters, control documents and planning policies that the applicant/developer would have to adhere to.
- Reserved matters would be brought back for the consideration of the Sub-Committee.
- In terms of engagement with businesses, extensive engagement and consultation had been carried out.
- The standard obligation was to have 20% of construction-based employment opportunities for local people. This would be part of the section 106 agreement. Work would be done with the economic development team to connect local jobs with local people.
- The comments made on paragraph 4.22 of the report partly referred to a worst-case scenario. Page 499 of the agenda papers set out conditions and set out what the reserved matters application should include, such as a planning compliance report.
- Although it was reasonable to raise questions regarding how housing units would be considered against commercial units and other amenities, it was important to note that there were policies in place to ensure that the requirements were met for an application that took a comprehensive approach. It was noted that the applicant was required to adhere to policy but that they could not be solely responsible for areas that they did not directly control. The applicant would be

required to ensure access to certain amenities in the area, including nursery floorspace, an area to congregate with other members of the community, and complimentary leisure uses.

- The applicant needed to meet the requirements of the development plan, planning policy, and other requirements.
- The figures of 2612 referred to the illustrative scheme regarding affordable housing, 2869, related to maximum homes for EIA purposes without Plot A and 2929 is max including Plot A. The max parameters could not be delivered due to the limitations within the other control documents
- The redacted compensation costs related to the possible costs of compulsory purchase orders to secure homes that the applicant did not currently own.

The Sub-Committee then heard from those objecting to the application.

Mr Paul Burnham, resident, informed the Sub-Committee that:

- He did not believe that the public benefits being discussed as part of the application would be delivered as the economic focus was based on cross subsidising new Council homes in Love Lane with market sales in the north of the area. This area was owned by Tottenham Hotspur Football Club and a large plot of the land was a public park. It was suggested that the applicant would be left with little to be able to subsidise the development in the south of the area.
- He stated that the Quality Review Panel (QRP) had not supported the application, had objected to the excessive density of 2900 homes, and wanted a plan that would safeguard quality of life. He asked the Council not to house tenants into homes with low levels of daylight and sunlight.
- Concerns were expressed that 927 single aspect homes, as set out in the illustrative scheme, would mean that external windows faced in only one direction and this was considered to be a key quality-of-life issue.
- It was claimed that the proposals were in breach of the London Housing Design Guide.
- It was noted that the land would be leased to Lendlease and that there was a risk that council tenants would be required to pay significant service charges; it was claimed that the Council would not be able to control this.
- In relation to the ballot at Love Lane in 2021, Paul Burnham stated that not everyone supported demolition in the area. He commented that approximately 75% of voters did not have a secured tenancy and believed that many had voted 'yes' on the ballot in order to get a secured tenancy rather than to support the demolition; it was noted that only 35% of the voters had voted 'yes'.
- It was not considered to be clear whether 360 homes, that had been promised to residents in 10-15 years' time, would be delivered.

Mr Alex Tryfanos resident, informed the Sub-Committee that:

- He was surprised that areas which contained Council homes had become subject to a planning application. He stated that, from the start of the regeneration project, residents had been informed that their homes and businesses would be demolished and felt like they did not belong in the areas in which they lived.
- He stated that private land was being taken away to build a new library and a community centre and suggested that this should be built on the nearby council

land. It was added that a previous community centre had been shut by the Council in the 1980s.

- It was commented that residents should be able to remain as part of the Tottenham High Road Community.
- The shops proposed for demolition provided employment for over 60 people, housed 215 families, and had a health centre for over 4,500 residents. It was believed that the overall job loss would be over 690.
- It was stated that these points had been made to the Council many times and the proposed scheme had caused stress and anxiety to residents, negatively impacting their mental and physical health.
- He asked that planning permission was refused.

Mr Richard Serra, representing Tottenham Hotspur Football Club, informed the Sub-Committee that:

- He objected to the application and considered that it was a departure from the Tottenham Area Action Plan (AAP) and the High Road West masterplan framework, documents that had been produced by the Council after extensive consultation.
- It was stated that, although employment was a key driver of regeneration and impacted quality of life, the scheme would lead to a net loss of 300 jobs. He commented that the scheme was largely residential but had little commitment to community, leisure, or employment use.
- He felt that the homes were poorly designed and noted that the QRP did not support the proposals, stating that it would lead to a poor-quality living environment, excessive height and overdevelopment.
- It was considered that the safe movement of people had not been properly addressed. It was noted that over one million people used White Hart Lane station every year. The Metropolitan Police had objected and continued to object to the application. He claimed that the application was not safe.
- There were a number of concerns that had been raised and it was suggested that, even with £90 million of funding from the Greater London Authority (GLA), the scheme would not be viable. He added the view that a possible public subsidy should not be reason enough to grant an application.
- He considered that the scheme benefits were inadequate and unclear, the harm was unquantified, and the crowd flow safety was unproven.
- He also claimed that, once the application was granted, the Council would not be able to insist on more than the minimum floor spaces permitted or to change the balance of uses in order to provide greater employment, community, or leisure facilities.
- He believed that the scheme was disrespectful to the aspirations of the local community, which had been consulted upon in the AAP, and it said that the application should be refused.

Mr Faruk Tepeyurt, resident, informed the Sub-Committee that:

- He was the former Director of Peacock Industrial Estate and was representing the industrial estate and a small group of traders on the High Road and White Hart Lane.
- Haringey was the fourth most deprived borough in London and the thirteenth in the country. Peacock Industrial Estate had unique business provision in the area

where many people owned the freehold units and others were leaseholders. It was noted that income was generated through match day parking.

- The report stated that 85 businesses supported around 690 jobs. He noted that approximately half of those jobs were on the High Road and White Hart Lane and the half were on the Peacock Industrial Estate. He commented that the jobs on the Peacock Industrial Estate were highly skilled jobs and well paid, with most of the jobs above the London living wage. It was added that most of the individuals were self-employed.
- He considered that the proposal would have a significant, negative impact on the estate as it would demolish all 30 units and a total of 85 businesses on the High Road and White Hart Lane. He claimed that, in a pre-application briefing on 25 October 2021, the officer's report said that the loss of industrial land would need to be mitigated by the inclusion of a minimum amount of floorspace but this had not been undertaken.
- He also claimed that, at the Scrutiny Committee on 29 November 2021, it had been noted that the level of industrial space on the new site would be approximately 30% of the space that the Peacock Industrial Estate currently had. He commented that this would no longer be provided. It was added that a protest had been held at a public meeting on 31 January 2019.
- He felt that there had been no engagement with the estate, the businesses, or the High Road.
- He believed that the scheme was racist and discriminatory.

Councillor Ibrahim Ali, informed the Sub-Committee that:

- A number of councillors had been recently elected in May 2022 and he felt that they had not had sufficient time to thoroughly consider the application.
- He asserted that it was not clear how the borders for the designated areas had been determined and considered that there would be an impact on the neighbouring residents outside the designated areas.
- The agenda papers appeared to show the loss of amenity for the existing estates, including parking and storage spaces.
- There were queries regarding the use of access on a small cul-de-sac and concerns about the impact on existing areas which were not part of the application.
- He said that there had been conversations about the application with residents but not with wider stakeholders.
- He understood that the tallest building that was proposed was 29 stories which was higher than anticipated and there were concerns about the impact on areas such as Penhurst Road, Pretoria Road, and other roads.
- He was concerned that there had been little conversation between the CCG and the applicant regarding plans for the Tottenham Health Centre.
- He said that there should be proper compensation and adjustment for residents who were impacted by the application.

In response to questions from members, those objecting to the application stated that:

- In relation to a question about acceptable alternatives for the scheme, Richard Serra claimed that Tottenham Hotspur football club could not dictate the details of

the planning application but considered, based on the available analyses, that there were too many units and of insufficient quality.

- In response to a question about claims of racism in the application, Faruk Tepeyurt alleged that Planning Officers had held more than 30 secret meetings with developers and had invited select people to property festivals and had asked for donations but did not ask members of the community for donations. He stated that people from the Peacock Industrial Estate, who were from minority ethnic groups, owned a third of the land in the area but had not been included in conversations. He also said that, in 2014, the Peacock industrial Estate had been de-zoned from being a protected employment zone following secret meetings. He also believed that the pre-planning application submitted by the Peacock Industrial Estate in 2017 had not been seriously considered by the Council's officers.

The Assistant Director of Planning, Building Standards, and Sustainability, stated that he would not comment on the allegations that had been made but noted that there was a separation between the local planning authority planning officers, the regeneration service, and the applicant.

In response to further questions from members, those objecting to the application stated that:

- The floorspace relating to the library ranged from 400sqm to 3500sqm. If the scheme was approved, the Sub-Committee would be approving a range of floorspace for that particular building.
- Mr Serra had worked for Tottenham Hotspur for seven years and had been involved in the planning profession for 27 years and he stated that he had never seen an outline application of this scale with so much flexibility. The range of floorspace was approximately ten times the size of the Sainsbury's in Northumberland Park.
- Paul Burnham stated that 309 of the 500 council homes would not be built for approximately 10 to 15 years. It was commented that these homes would be located in the last two plots to be developed and that there could be a number of changes in this time. Concerns were expressed that the community homes and the amenities would not be developed. It was stated that the scheme would result in 2,900 homes which would increase house prices outside of the designated area and force community members out of the area. It was stated that the 100% social rent policy of the Council's housebuilding program was positive but that this did not mean that the application should be granted.
- The Head of Development Management stated that the first phase of the process involved building social rented homes and that the section 106 legal agreement would require a minimum percentage of all homes to be affordable. It was added that each phase would need to include a viability assessment which would be reviewed by the Council.

The Sub-Committee then heard from those supporting the application.

Ms Bilad Dioff, resident, informed the Sub-Committee that:

- She was the Chair of the Love Lane Residents' Association.
- Her kitchen and the building were in very poor condition.

- Her mother was 80 years old and they lived on the fourth floor; she felt that it was difficult for people with wheelchairs to get around in the building.
- She believed that antisocial behaviour would reduce as a result of the scheme.
- She had visited Elephant Park and she believed that there was space for businesses and an operating High Street. She stated that there was also a library and she felt that most residents approved of the application.

Ms Enid Henry, resident, informed the Sub-Committee that:

- She would like the new homes that had been promised ten years ago to be built as soon as possible.
- She wanted to remain in the Love Lane area and was looking forward to the new facilities.
- She wanted her flat to be on the ground floor.

Ms Suzanne Wolfe, Public Voice, informed the Sub-Committee that:

- She was representing three Love Lane residents:
 - Ms Laura Speller was a local resident. She stated that many tenants were suffering from overcrowding and that Ms Speller's mental health had suffered due to the overcrowding. It was noted that Ms Speller's son had autism and that the family would prefer not to move. She stated that the redevelopment would provide 500 new homes and she believed that this was a good opportunity for Ms Speller's family.
 - Ms Emine Aker had lived in temporary accommodation on White Hart Lane for about seven years. Ms Aker claimed that the flat was old and required repairs; the garden was unsafe and the family felt insecure. She believed that the development would result in improvements. She supported the provision of additional green areas and play areas.
 - Miss Grace Lungu was a leaseholder and had lived in Love Lane for 32 years. She wanted the proposals to go ahead as she believed that they would improve her standard of living as the homes in the area were dated. She stated that many of the individuals opposing the application did not live on Love Lane.

Councillor Dana Carlin, Cabinet Member for Housing Services, Private Renters, and Planning, informed the Sub-Committee that:

- Haringey had a critical shortage of housing, especially affordable housing.
- She stated that many families lived in crowded accommodation which had an effect on people's physical and mental health and on children's performance in school. It was noted that 80 households were overcrowded.
- The application would provide 500 new homes for residents.
- It was commented that the residents from Love Lane suffered from persistent issues, such as leaks, damp and mould, and that there had been over 1,000 repair jobs raised on the estate in the last year. There were 44 homes which were in such bad condition that they could not be let to residents.
- She believed that the proposed homes would be built to a high standard and would also include additional, larger homes that were required. There would be 165 additional two bedroom properties and an additional 106 homes with three bedrooms or more. These homes would be delivered in phase 1 of the scheme, by 2028/29.

- The Cabinet Member stated that, although the application had drawn some controversy, it would provide homes that were needed by the community. A new library and new public square would also be built.
- She added that there was no guarantee that the GLA funding would be available for another plan given the constrained economic circumstances.

The Sub-Committee heard from the applicant team. Ms Bek Seeley, Lendlease, informed the Sub-Committee that the application had been developed over almost 10 years, stemming from the High Road West master plan framework. She stated that the applicant had worked with the community, the Council, and the High Road West scheme to offer residents and businesses new opportunities and to ensure that 500 high quality homes would be delivered early in the scheme. It was commented that the applicant had supported the Tottenham People Priority, assisted local schools, and worked to reinvigorate shop frontages on the High Road. It was stated that further local community opportunities would be made available, including funding for young people, green spaces for families, and new community facilities including a new library and learning centre. The applicant team added that the scheme would provide affordable, modern work spaces for businesses and good quality, new jobs supported by successful employment programs for local people.

The applicant team considered that the scheme would be highly sustainable, minimising carbon energy use and promoting healthy neighbourhoods. It was noted that the applicant was committed to co-design and inclusive engagement throughout the project and there would be walking and cycling improvements.

The applicant understood that the proposals had concerned a number of local businesses. Over the last four years, the applicant had been consulting with them to better understand their needs and how they could be met. It was stated that, with the Council, the applicant was committed to finding the best outcome for each business' individual circumstances. The applicant team believed that the proposed scheme would also result in improvements for local people when there were match or event days at Tottenham Hotspur Football Club as it would provide more space in a large square to accommodate fans more safely.

In response to questions from members, the following responses were provided:

- In response to a question about alternative options, the Legal Advisor stated that the Sub-Committee was required to consider the application that was before it; in particular, whether the application met the requirements of the development plan, having regard to all material considerations. It was added that other, potential applications were not material planning considerations.
- Michelle Letton, Lendlease, stated that it would be more affordable to replace, rather than upgrade, the existing Love Lane Estate. It was suggested that the proposed scheme would provide a range of improvement, including outdoor spaces, play areas, a library, and support for the community. It was added that the GLA grant funding assisted with the viability of the project but that Lendlease would also be making substantial contributions to the project.
- In relation to the library and learning space, Greg Greasley, Lendlease, confirmed that this would be owned by and handed back to the Council.

- Regarding crowd movement in the area, Tom Horne, DP9 planning advisors, stated that the existing streets were not designed for large crowd movement. It was suggested that the designs set out in the proposal would be more functional; it was hoped that this would lead to less antisocial behaviour. It was added that Tottenham Hotspur currently had and would retain responsibility for making good the area through activities such as litter collection.
- In relation to a query about the potential loss of floorspace, Mr Horne stated that the health centre had been marked as a loss but that this was on the basis that the new health centre would be delivered through Tottenham Hotspur's consent, which had already been given. It was highlighted that, if the health centre was not delivered, then the applicant would be delivering the new health centre. It was also noted that the Grange and the Station Master's House were included in the existing floorspace. Mr Horne stated that there would be no net loss and it was considered that ample community facilities would be provided.
- In response to a question about the requested flexibility, Mr Horne stated that smaller schemes often required less flexibility because they were often delivered quickly and over a shorter period of time, whereas larger schemes generally required larger levels of flexibility because they were delivered over longer periods of time. He added that the level of flexibility requested had been provided before in other schemes and the applicant was comfortable that what was being requested was reasonable. He also noted that there were levels of certainty in the form of maximums and minimums per zone.
- The Head of Development Management noted that, as set out on page 499 of the agenda pack, the Sub-Committee would have some degree of oversight as the uses came forward through reserved matters.
- In relation to a query about the space provided for residents, Mr Horne explained that Moselle Square would be a space for residents for the majority of the time and would have the dual purpose of being a safe open space for match and event days. Lucas Lawrence, SEW Architects, stated that the overall density was considered to be appropriate for the type of development. It was noted that there was also a variety of density within the scheme which aimed to respect historic assets and to adhere to the general principle that the densest areas should be closest to transport hubs.
- Mr Lawrence stated that the play space provision sat across the whole masterplan and was inclusive of children in various age ranges. It was noted that the youngest children had provision in the Podium Garden which was protected, away from public spaces, and that older children would have use of other green spaces. It was added that the proposals were compliant with the policy for play space.
- The Principal Urban Design Officer noted that the scheme had been examined by the QRP several times. At the latest consideration, it was commented that the QRP had been broadly welcoming but had expressed concerns about the deliverability of Peacock Park and the design and height of the second and third highest buildings in Plots B and F. It was noted that half of the park had existing planning permission and that the key concerns related to Plots B and F. It was added that changes had been made to the design code since the last QRP; these included more space on the Podium Garden, more sunlight, and more dual aspect flats in Plot B and positioning the tall building further away from White Hart Lane to reduce the impact on the conservation area and heritage assets in Plot F.

It was highlighted that the applicant would be held to these changes and that reserved matters applications would also be considered by the QRP.

- The applicant had the ability to re-examine the number of single aspect homes and their orientation. The final approval on these details will be considered by the Sub-Committee.

At 9:57pm, the Chair stated that, in accordance with Committee Standing Order 18, she would be using her discretion as Chair to continue the meeting and complete the item under consideration.

In response to further questions from members, the following responses were provided:

- The applicant did not own the land but would agree a lease or licence with the Council over time.
- In relation to potential cost escalation, it was stated that the applicant was a construction company as well as a developer and was used to economic cycles over a project lifetime. The applicant would consider the construction and, alongside the contractors, would look at contract forms and types, examine where the goods were coming from, and examine different types of delivery to help speed up delivery and reduce cost.
- There was section 106 commitment for delivering the library, the learning centre, and the homes.
- It was stated that the applicant was committed to ensuring that residents would only be required to move home once. The applicant team highlighted that moving people into new homes whilst major changes were made to an area was a complicated process.

The Committee felt that the phasing plan should take account of the aim to maximise single moves for residents where possible. The Head of Development Management stated that this could be incorporated within proposed condition 3 and that it would be possible to include wording that the applicant would seek to minimise moves for residents as much as possible. It was clarified that it was not recommended to use more stringent wording as this could have unintended consequences which could delay the development.

In response to further questions from members, the following responses were provided:

- The applicant team stated that the application allowed sufficient space to provide for existing businesses on the site.
- The applicant had agreed provision within the draft section 106 to provide incentives and preferential treatment to businesses within the designated areas to stay within the scheme or to move outside the scheme; this was in the form of rent-free periods or capital contributions.
- There was a commitment to try to keep as many of the businesses on site as possible.
- The proposal is found to be an acceptable development and meets the development plan funding, funding is a material consideration that Cllrs should be mindful of but the primary consideration should be whether the application is acceptable.

The Head of Development Management stated that the recommendation was to grant planning permission, as set out in the report and the addendum and subject to the amendment of condition 3 to minimise moves for residents as much as possible.

Following a vote with 7 votes in favour, 1 vote against, and 2 abstentions, it was

RESOLVED

1. To GRANT planning permission and that the Head of Development Management or the Assistant Director Planning, Building Standards & Sustainability is authorised to issue the planning permission and impose conditions and informative notes subject to referral to the Mayor of London for his consideration at Stage 2 and signing of a section 106 Legal Agreement providing for the obligations set out in the Heads of Terms below and a section 278 Legal Agreement providing for the obligations set out in the Heads of Terms below. For clarity, the section 278 Legal Agreement will not be signed prior to the granting of outline planning permission as insufficient detail exists to enable the terms of the agreement to be reached. The section 278 Legal Agreement will be signed prior to commencement of relevant highway works.
2. The section 106 legal agreement referred to in resolution (1) above is to be completed no later than the 31st August 2022 or such extended time as the Head of Development Management or the Assistant Director shall in her/his sole discretion allow. Following completion of the agreement(s) referred to in resolution (1), planning permission is granted in accordance with the Planning Application subject to the attachment of the conditions.
3. That delegated authority be granted to the Head of Development Management or the Assistant Director to make any alterations, additions or deletions to the recommended heads of terms and/or recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice Chair) of the Sub-Committee.

Conditions – the full text of recommended conditions was contained in Appendix 14 of the report, **subject to the amendment of condition 3 to minimise moves for residents as much as possible.**

9. NEW ITEMS OF URGENT BUSINESS

There were no items of urgent business.

10. DATE OF NEXT MEETING

It was noted that the date of the next meeting was 5 September 2022.

Planning Sub Committee 10th October 2022

Item No.

REPORT FOR CONSIDERATION AT PLANNING SUB-COMMITTEE

1. APPLICATION DETAILS**Reference No:** HGY/2022/0823**Ward:** West Green**Address:** Broadwater Farm Estate N17

Proposal: Demolition of the existing buildings and structures and erection of new mixed-use buildings including residential (Use Class C3), commercial, business and service (Class E) and local community and learning (Class F) floorspace; energy centre (sui generis); together with landscaped public realm and amenity spaces; public realm and highways works; car-parking; cycle parking; refuse and recycling facilities; and other associated works. Site comprising: Tangmere and Northolt Blocks (including Stapleford North Wing); Energy Centre; Medical Centre; Enterprise Centre; and former Moselle school site, at Broadwater Farm Estate.

Applicant: London Borough of Haringey**Ownership:** Council**Officer contact:** Christopher Smith**Date received:** 22/03/2022

- 1.1 The application is being reported to the Planning Sub-Committee for determination as it is a major planning application where the Council is applicant.

1.2 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The development would deliver much-needed new homes for Council rent, including a large proportion of family homes, and would replace buildings where demolition is urgently required for safety reasons.
- The development would provide a 'right to return' for existing residents and a 'fair deal' for leaseholders and follows the aims and objectives of the Mayor of London's Good Practice Guide to Estate Regeneration.
- The development would deliver on the aspirations of Site Allocation SA61 by providing improvements to the quality of homes within the Broadwater Farm Estate, and by providing improvements to the overall design and pedestrian/cycle connectivity within and through the Estate. The provision of an Urban Design Framework ensures that the development would meet the masterplanning requirements of SA61.
- The development would re-provide existing non-residential uses, including new retail facilities to support the existing and new residential community, and would provide new local employment opportunities.
- The development would be of a high-quality design which responds appropriately to the local context and which has been designed through consultation with the

local community. The development is supported by the Council's Quality Review Panel.

- The development would provide high-quality residential accommodation of an appropriate size and mix within an enhanced public realm environment including new streets and a new park in the heart of the estate. The increased public activity and natural surveillance would significantly improve safety and security on the estate.
- The development has been designed to avoid any material adverse impacts on the amenity of nearby residential occupiers in terms of loss of sunlight and daylight, outlook or privacy, excessive noise, light or air pollution. There would also be no negative impact on the local wind microclimate.
- The development would provide 91 car parking spaces within the site and additional parking spaces would be available within the wider estate, this is sufficient to support the parking requirements of residents within the new homes.
- The proposal includes car parking for occupiers of the proposed 10% wheelchair accessible dwellings and high quality cycle parking.
- The development has been designed to achieve a significant reduction in carbon emissions, would improve the sustainability of the wider estate and would incorporate a replacement energy centre for the estate which could in turn connect to a district heating network in the future. The development would achieve a suitable urban greening factor and substantial improvements in biodiversity whilst also protecting and enhancing local ecology.

2. RECOMMENDATION

- 2.1 That the Committee resolve to GRANT planning permission and that the Head of Development Management or the Assistant Director of Planning, Building Standards and Sustainability is authorised to issue the planning permission and impose conditions and informatives subject to the agreement of planning obligations set out in the heads of terms below.
- 2.2 That delegated authority be granted to the Head of Development Management or the Assistant Director Planning, Building Standards and Sustainability to make any alterations, additions or deletions to the recommended heads of terms and/or recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee.
- 2.3 That the agreement referred to in resolution (2.1) above is to be completed no later than 31st October 2022 within such extended time as the Head of Development Management or the Assistant Director Planning, Building Standards and Sustainability shall in her/his sole discretion allow; and
- 2.4 That, following completion of the agreement(s) referred to in resolution (2.1) within the time period provided for in resolution (2.3) above, planning permission be granted in accordance with the Planning Application subject to the attachment of the conditions.

- 2.5 Planning obligations are usually secured through a S106 legal agreement. In this instance the Council is the landowner of the site and is also the local planning authority and so cannot legally provide enforceable planning obligations to itself.
- 2.6 Several obligations which would ordinarily be secured through a S106 legal agreement will instead be imposed as conditions on the planning permission for the proposed development.
- 2.7 It is recognised that the Council cannot commence to enforce against itself in respect of breaches of planning conditions and so prior to issuing any planning permission measures will be agreed between the Council's Housing service and the Planning service, including the resolution of non-compliances with planning conditions by the Chief Executive and the reporting of breaches to portfolio holders, to ensure compliance with any conditions imposed on the planning permission for the proposed development.
- 2.8 The Council cannot impose conditions on planning permissions requiring the payment of monies and so the Director of Placemaking and Housing has confirmed in writing that the payment of contributions for the matters set out below will be made to the relevant departments before the proposed development is implemented.
- 2.9 Summary of the planning obligations for the development is provided below:
- Affordable housing – provision of all new homes at Council rents
 - Affordable workspace
 - Parking permit restrictions
 - CPZ re-instatement, review and expansion contribution (£30,000)
 - Amendments to traffic management order (£5,000)
 - Residential and commercial travel plans
 - Travel plan monitoring (£10,000)
 - Highway works agreement (in consultation with TfL)
 - Stopping up works agreement
 - Walking and cycling improvements contributions (£100,000)
 - Accident reduction strategy for local road junctions (£150,000)
 - Carbon offsetting contribution (£380,00) (indicative)
 - Future connection to district heating network
 - Management and maintenance of public realm
 - Delivery of social value measures secured through procurement process
 - Obligations monitoring contribution

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- 4. CONSULTATION RESPONSE
- 5. LOCAL REPRESENTATIONS
- 6. MATERIAL PLANNING CONSIDERATIONS
- 7. COMMUNITY INFRASTRUCTURE LEVY
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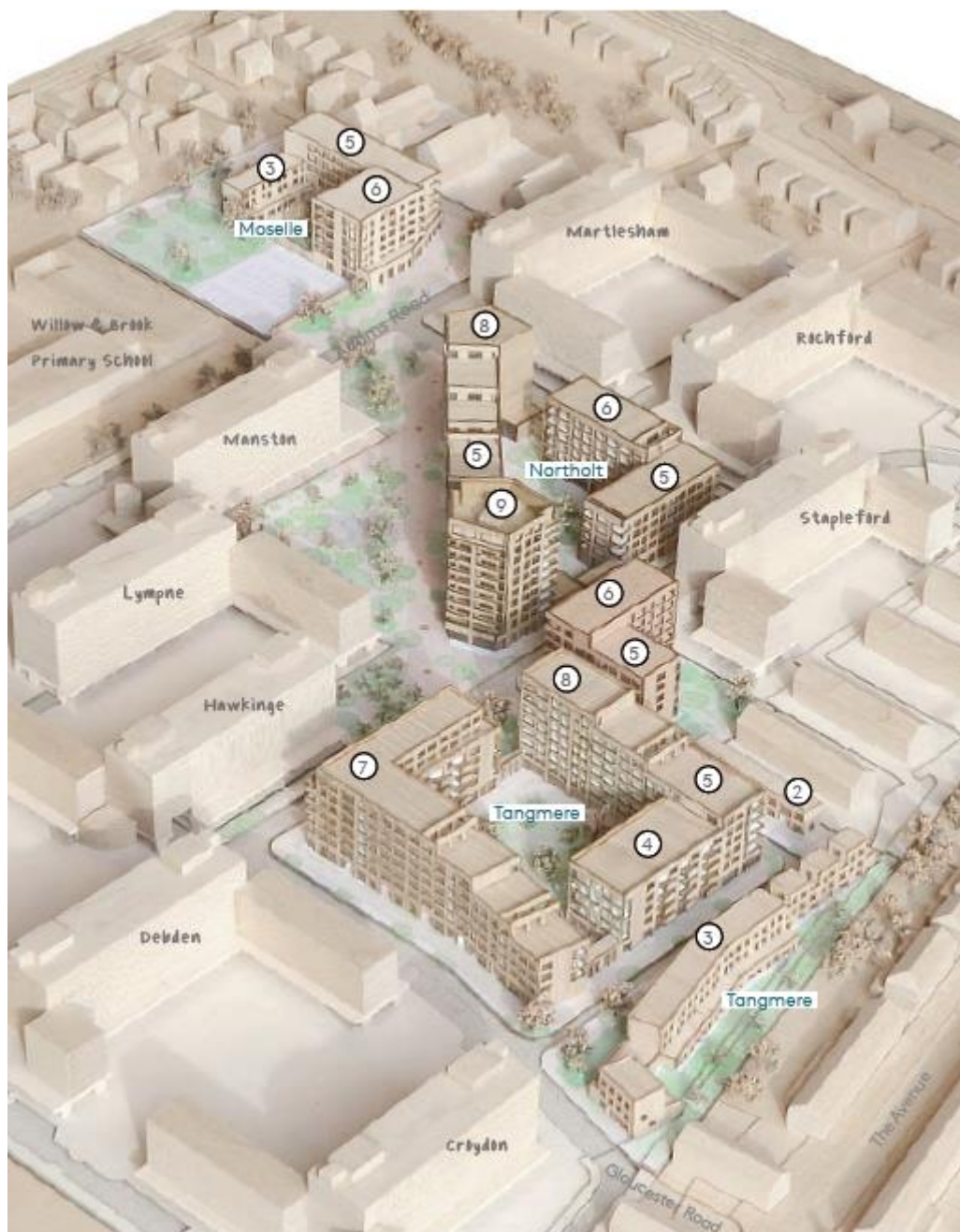
APPENDICES:

- Appendix 1 Planning Conditions and Informatives
- Appendix 2 Plans and Images
- Appendix 3 Consultation Responses – Internal and External Consultees
- Appendix 4 Consultation Responses – Greater London Authority Stage 1 Response
- Appendix 5 Consultation Responses – Summary of Representations from Residents
- Appendix 6 Quality Review Panel Reports
- Appendix 7 Development Forum Minutes
- Appendix 8 Pre-application Committee Minutes

3. PROPOSED DEVELOPMENT AND SITE LOCATION DETAILS

Proposed development

- 3.1 This is an application for the demolition of the existing Tangmere, Northolt, Stapleford North, enterprise centre, medical centre and energy centre buildings and erection of 294 new homes (Use Class C3) for Council Rent in a mix of houses and flats within buildings ranging from two to nine storeys in height. 1,282sqm of non-residential uses would also be provided in the form of a wellbeing hub, a replacement enterprise centre and a retail unit.



- 3.2 The development would be provided in three distinct parts. The existing seven storey Tangmere building and medical centre would be replaced with a new building of a maximum eight storeys in height and an adjacent building of a maximum six storeys in height. It would include 127 new homes, with the larger building set around a

landscaped internal courtyard. The new wellbeing hub and enterprise space would be provided at ground floor level. A further 17 homes would be provided in the form of new terraced houses to the south and east of the new Tangmere building.

- 3.3 The existing nineteen storey Northolt building and the five storey Stapleford North building would be replaced with a building that would be a maximum nine storeys in height and would include 100 new homes and enterprise space set around a triangular courtyard. It would be located adjacent to a new publicly accessible open space. The new building on the site of the former Moselle School (max. two storeys in height) would be a maximum six storeys in height and would include 40 new homes and a retail unit at ground floor.
- 3.4 The overall development would include 84 one-bedroom homes, 106 two-bedroom homes, 60 three-bedroom homes and 44 homes of four or more bedrooms. 30 homes (10%) would be wheelchair accessible. The homes would meet all relevant internal and amenity space standards.
- 3.5 91 car parking spaces would replace the existing 225 car parking spaces and 560 cycle parking spaces would also be provided. The development would be low carbon and would be supported by a replacement communal heating system and is expected to connect to the borough-wide district energy network when this becomes available.
- 3.6 The development has been designed in a contemporary manner that respects the character of the existing estate and would use a palette of robust finishing materials including brick walls with concrete detailing, with coloured windows, doors and metalwork.
- 3.7 The development would provide many public realm improvements to the estate including removal of the existing undercroft parking areas, safer and more pedestrian friendly street layouts, new street planting, and new public squares and courtyards.
- 3.8 The application is supported by an Urban Design Framework that describes how the development proposal would fit within a long-term vision for the wider estate including details of potential future public realm improvements, block refurbishments and other projects that would ensure the estate is developed in future in accordance with a clear strategy that is supported by residents.

Site and Surroundings

Site Context

- 3.9 The application site is an irregular shaped plot within the central part of the Broadwater Farm Estate that includes the Tangmere, Northolt, Stapleford North, the enterprise centre, medical centre and energy centre buildings and their surrounding public realm areas. The site also includes a currently vacant plot that formerly included the Moselle School which has been replaced by the Brook and Willow Schools to the west of this plot.
- 3.10 The existing Tangmere block is a ziggurat-style building of up to seven storeys that comprises 116 homes. The existing Northolt block is a nineteen-storey building, which is connected to the five storey Stapleford North wing and the existing energy centre. These buildings contain 126 homes. The Broadwater Farm Community Health Centre is a single storey building located to the west of Tangmere block and is home to the

Broadwater Farm Medical Practice and Connected Communities services. The Enterprise Centre is a series of nineteen single storey commercial units fronting onto Willan Road.

- 3.11 Within and surrounding the application site are several green courtyard spaces, paths, roads and other public realm areas. To the south of Tangmere block is the Memorial Gardens comprising a hardstanding area with tree planting and seating. .
- 3.12 The Broadwater Farm Estate is a large residential estate consisting of twelve different blocks of varying heights up to 19 storeys and close to 1100 dwellings. It was first occupied in the 1970s. The buildings were originally connected via a series of walkways at first floor level. These walkways were dismantled in the 1990s. The ground floor level of the estate buildings is predominantly used for undercroft car parking.
- 3.13 The wider estate also includes a range of community facilities including a community centre, a primary school, a children's centre and a church.
- 3.14 The area surrounding the Estate is predominantly residential consisting of terraced and semi-detached housing. Lordship Recreation Ground is immediately to its west. Lordship Lane is a short walk to the north and the commercial area of Bruce Grove is further to the east.

Development Context

- 3.15 The Broadwater Farm Estate was constructed in the 1960s and early 1970s using the Large Panel System method, which has subsequently been found to have inherent structural defects in certain circumstances. In 2017, the Council commissioned comprehensive structural surveys to fully consider the condition of all blocks on the Estate. These surveys identified significant structural defects for the Tangmere and Northolt blocks, which failed tests relating to their ability to withstand the force of a vehicular strike to the building or from a bottled gas explosion, with a subsequent risk of progressive collapse. The option of carrying out extensive structural works to and refurbishment of these blocks was considered but was found to be prohibitively expensive and it was subsequently concluded that demolition was the only viable option. Following consultation with residents of the blocks, in November 2018 the Council resolved to demolish them. Both Tangmere and Northolt buildings have now been evacuated.
- 3.16 The Council has been working closely with residents on the estate to create and deliver a comprehensive and wide-reaching estate improvements programme which includes the potential delivery of replacement and new high-quality Council homes, comprehensive block refurbishments and substantial public realm improvements.

Planning Policy Designations

- 3.17 The Estate forms the southern part of Site Allocation SA61 within the Site Allocations DPD 2017 which is identified for improvements to its housing stock, overall design, and routes through the area.
- 3.18 The site is partially designated as part of the Blue Ribbon Network (the culverted Moselle Brook runs underneath the estate). The western side of the estate is a Flood Zone 2 and the northern part of it is located within a Critical Drainage Area. The

adjacent Recreation Ground is Metropolitan Open Land and a Site of Importance for Nature Conservation (Local). The Estate has a low PTAL rating of 1b-2, although the W4 bus route does run directly through the site.

- 3.19 The Estate is not located within a conservation area, nor does it contain any listed or locally listed buildings. The Tower Gardens Conservation Area is the closest heritage asset to the site (190 metres to the north). The Peabody Cottages Conservation Area is also a short walk to the north of the site and the Bruce Castle and Bruce Grove Conservation Areas are nearby to the north-east and east respectively.
- 3.20 There are several listed and locally listed buildings within the Bruce Castle and Bruce Grove Conservation Areas, including the Grade I listed Bruce Castle.
- 3.21 An application for listing of the mural on Tangmere block has been made to Historic England who have recently made a recommendation on this matter to the Department of Digital, Culture, Media and Sport. A decision from DCMS is expected in due course. At the present time and in the absence of any indication from DCMS otherwise, the feature is not considered to be listed.

Relevant Planning and Enforcement history

- 3.22 The buildings within the application site and the wider Estate have an extensive planning history. The planning applications relevant to the buildings within the site that have been submitted in recent years (since 2005) are described below:

Application Site

- 3.23 HGY/2022/0647. Request for an Environmental Impact Assessment (EIA) Screening Opinion in relation to proposals for the redevelopment of land within the above Estate in accordance with Regulation 6 of the Town and Country Planning (Environmental Impact Assessment) Regulations 2017, as amended. EIA not required 30th September 2022.

Tangmere Block

- 3.24 HGY/2021/0742. Prior notification for demolition of the existing 6-storey residential block (Tangmere). Prior approval not required 1st April 2022.

Northolt Block

- 3.25 HGY/2019/2162. Replacement of the existing ventilation louvres on the west elevation of the building with larger acoustic louvres and the addition of a new double door in the south elevation. Permission granted 5th December 2019.

Moselle School

- 3.26 HGY/2021/1835. Prior notification: Demolition. Permission granted 23rd July 2021.

Wider Estate

- 3.27 HGY/2019/3067. Erection of a free standing brick built electrical substation. Permission granted 15th October 2020.

- 3.28 HGY/2018/2708. Certificate of lawfulness for the installation of new external pipework encased in a weatherproof duct to exterior of each of the blocks. Permission granted 15th October 2018.
- 3.29 HGY/2009/2123. Demolition of Broadwater Farm Primary School and William C Harvey Special School, and redevelopment of the site to provide a purpose-built two storey inclusive learning centre (520 places, primary age) to incorporate Broadwater Farm Primary, William C Harvey and Moselle School Special Schools with associated car parking, external landscaping and new pedestrian and vehicle access from Adams Road. Permission granted 16th March 2010.

4. CONSULTATION RESPONSE

4.1 Quality Review Panel

- 4.2 The scheme has been presented to Haringey's Quality Review Panel on three occasions. The Panel's written responses are attached in Appendix 6.

4.3 Planning Committee Pre-Application Briefing

- 4.4 The proposal was presented to the Planning Sub-Committee at a Pre-Application Briefing on 17th March 2022. The minutes are attached in Appendix 8.

4.5 Development Management Forum

- 4.6 A virtual meeting was held on 16th March 2022. The main topics raised were around loss of housing and health services on the Estate. Details and summaries of the comments made and how they were addressed are available in Appendix 7.

4.7 Planning Application Consultation

- 4.8 The following were consulted regarding the application:

Internal

- 1) LBH Design: No objections.
- 2) LBH Conservation: No objections.
- 3) LBH Housing: No objections.
- 4) LBH Transportation: No objections, subject to conditions.
- 5) LBH Carbon Management: No objections, subject to conditions.
- 6) LBH Regeneration: No objections.
- 7) LBH Nature Conservation: No objections, subject to conditions.
- 8) LBH Tree Officer: No objections, subject to conditions.
- 9) LBH Flood and Water Management: No objections, subject to conditions.

- 10)LBH Community Safety: No objections.
- 11)LBH Waste Management: No objections.
- 12)LBH Pollution: No objections, subject to conditions.
- 13)LBH Parks: No comments to make.
- 14)LBH Policy: No objections.
- 15)LBH Street Lighting: No comments to make.
- 16)LBH Noise: No objections subject to conditions.
- 17)LBH Public Health: No objections.

External

- 18)Greater London Authority (GLA): Stage 1 comments can be viewed in full in Appendix 4. The GLA's summary comments are provided below.

London Plan policies on housing, affordable housing, urban design, heritage, inclusive design, sustainable development, green infrastructure, and transport are relevant to this application. Whilst the proposal is supported in principle, the application does not currently fully comply with some of these policies, as summarised below

- *Land Use Principles:* The redevelopment of part of the estate for residential, community and employment floor space along with public realm improvements is supported. Overall, and subject to Council securing floorspace and suitable rent levels, the estate renewal meets with the requirements of the London Plan and the GPGER [Good Practice Guide to Estate Regeneration].
- *Housing:* The proposal will increase the quantum of housing within the estate, all of which (100%) will be social rent affordable units which is strongly supported. The unit mix provides a good range of housing type and sizes, however the Council should confirm that it meets housing need.
- *Urban Design and Heritage:* The scheme raises no strategic concerns with regards to layout, scale, appearance and accessibility and the new improved public realm with substantial playspace is welcome. The scheme will not harm any nearby heritage assets. The fire strategy must meet with the London Plan requirements and be secured.
- *Transport:* The number of car parking spaces on site should be reduced. A station and line impact analysis on the Underground system is required. Discussions between the Council and TfL are required regarding a contribution towards the Healthy Streets proposals. Further details of long stay cycle parking, travel plan and details affecting the safeguarding of the W4 bus route are required. Management Plans, details of blue badge and EVCP provision should be secured.

- *Sustainability and Environment*: The scheme will meet with urban greening and biodiversity requirements. Further information on energy, WLC [Whole Life Cycle carbon] and circular economy is required, and mitigation measures on flood risk and air quality should be secured by condition.

19)Transport for London: No objections, subject to conditions and obligations.

20)Health & Safety Executive: Comments have raised some concerns. Discussions ongoing.

21)Canal and River Trust: No comments to make.

22)Thames 21: No comments made.

23)Environment Agency: No objections, subject to conditions and informatives.

24)Natural England: No objections.

25)Thames Water: No objections, subject to conditions and informatives.

26)Greater London Archaeological Advisory Service: No archaeological requirements or objections.

27)Metropolitan Police Designing Out Crime Officer: No objections, subject to conditions.

Local Interest Groups

28)Broadwater Farm Residents Association: Object to the application (comments are summarised below and responded to in the main body of the report).

29)Friends of Lordship Rec: No comments received.

30)Bruce Grove Residents Network: No comments received.

5. LOCAL REPRESENTATIONS

5.1 The application has been publicised by way of a press notice, several site notices which were displayed in the vicinity of and around the site and 1,390 individual letters sent to surrounding local properties. The number of representations received from neighbours, local groups, etc in response to notification and publicity of the application were as follows:

- No of individual responses: 4
- Objecting: 1
- Commenting: 1
- Supporting: 2

5.2 The following local groups/societies (other than those consulted above) also made representations: None.

5.3 The following issues were raised in representations that are material to the determination of the application and are addressed in the next section of this report:

- Development is not financially viable
- Loss of health centre
- Insufficient family-sized housing
- Excessive loss of day/sunlight
- Inadequate parking provision
- Inappropriate internal kitchen layouts

5.4 The following issues raised are not material planning considerations:

- Individual request for a home within the new development (officer note: this is not a matter for the Local Planning Authority to consider and should be directed to the Council's Housing section).

6 MATERIAL PLANNING CONSIDERATIONS

Statutory Framework

6.1 Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with policies of the statutory Development Plan unless material considerations indicate otherwise.

Considerations

6.2 The main planning considerations raised by the proposed development are:

1. Principle of development
2. Affordable housing and affordable housing mix
3. Design and appearance
4. Heritage impact
5. Residential quality
6. Neighbouring amenity
7. Parking and transport
8. Open space, trees and urban greening
9. Carbon reduction and sustainability
10. Waterways and flood risk
11. Land contamination
12. Fire safety
13. Equalities

Principle of development

National Policy

6.3 The National Planning Policy Framework 2021 (NPPF) establishes the overarching principles of the planning system, including the requirement of the system to “drive and support development” through the local development plan process. It advocates policy that seeks to significantly boost the supply of housing and requires local planning authorities to ensure their Local Plan meets the full, objectively assessed housing needs for market and affordable housing.

Regional Policy – The London Plan

- 6.4 The London Plan 2021 Table 4.1 sets out housing targets for London over the coming decade, setting a 10-year housing target (2019/20 – 2028/29) for Haringey of 15,920, equating to 1,592 dwellings per annum.
- 6.5 London Plan Policy H1 states that boroughs should optimise the potential for housing delivery on all suitable sites, including through the redevelopment of surplus public sector sites.
- 6.6 London Plan Policy H4 requires the provision of more genuinely affordable housing. In Policy H5 the Mayor of London expects that residential proposals on public land should deliver at least 50% affordable housing on each site.
- 6.7 London Plan Policies H7 and H8 make clear that loss of existing housing should be replaced by new housing at existing or higher densities with at least the equivalent level of overall floorspace.
- 6.8 London Plan Policy H8 sets out detailed policy requirements for estate renewal schemes and is supported by the Mayor of London's Good Practice Guide to Estate Regeneration (GPGER). Together, this policy and the related guidance seek a consideration of alternative options before the demolition and replacement of affordable homes is sanctioned. The GPGER describes key principles of estate regeneration as being an increase in affordable housing, full rights to return for social tenants and a fair deal for leaseholders and freeholders. The guidance also requires a ballot of residents where the demolition of existing buildings occurs and extensive consultation of residents through the regeneration process.
- 6.9 London Plan Policy S1 seeks to ensure that social infrastructure needs of London's diverse communities are met and Policy S2 states that proposals should support new and enhanced health and social care facilities. London Plan Policy E2 seeks to resist the loss of business space and support re-provision and Policy E9 states that new retail facilities should be provided within town centres in the first instance.
- 6.10 London Plan Policy D3 seeks to optimise the potential of sites through a design-led approach. Policy D6 emphasises the need for good housing quality which meets relevant standards of accommodation.

Local Policy

- 6.11 The Haringey Local Plan Strategic Policies DPD 2017 (hereafter referred to as Local Plan) sets out the long-term vision of the development of Haringey by 2026 and also sets out the Council's spatial strategy for achieving that vision.
- 6.12 Local Plan Policy SP2 states that the Council will aim to provide homes to meet Haringey's housing needs and to make the full use of Haringey's capacity for housing by maximising the supply of additional housing. Local Plan Policy SP2 also makes clear that the Council will bring forward a programme of renewal of Haringey's housing estates, with Broadwater Farm being identified as one of nine estates being in most need.
- 6.13 Local Plan Policies SP8 and SP9 seek to resist the loss of business space and support re-provision. SP14 states that new or improved health facilities will be supported. Local Plan Policy SP16 sets out Haringey's approach to ensuring a wide range of services and facilities to meet community needs are provided in the borough.

- 6.14 The Development Management DPD 2017 (hereafter referred to as the DM DPD) supports proposals that contribute to the delivery of the strategic planning policies referenced above and sets out its own criteria-based policies against which planning applications will be assessed. Policy DM10 seeks to increase housing supply and seeks to optimise housing capacity on individual sites, whilst also ensuring that any affordable housing that is lost is replaced with at least equivalent amounts of new affordable residential floorspace. Policy DM11 goes further to state that proposals for estate renewal will be required to re-provide the existing affordable housing on an equivalent habitable room basis, tailored to better meet housing needs and to better achieve more inclusive and mixed communities. Policy DM13 makes clear that the Council will seek to maximise affordable housing delivery on all sites.
- 6.15 Policy DM55 identifies Broadwater Farm as an Estate Renewal site that should be supported by a masterplan developed through co-ordinated and community-based consultations.
- 6.16 Policy DM40 seeks to facilitate the renewal and regeneration of existing non-designated employment land and floorspace. Policy DM41 states that proposals for new retail uses outside of town centres should demonstrate that there are no suitable town or edge-of-centre sites available in the first instance and demonstrate that they would not harm nearby town centres. Local Plan Policy DM49 seeks to protect existing social and community facilities unless a replacement facility is provided which meets the needs of the community.

Site Allocation

- 6.17 The application site forms part of Site Allocation SA61 in the Site Allocations DPD 2017 and is identified as being suitable for development that provides improvements to its housing stock, improved routes through and an improved overall design.
- 6.18 SA61 has the following Site Requirements and Development Guidelines:

Site Requirements

- Development will be required to be in accordance with a masterplan, prepared with the involvement of residents and the Canal and River Trust.
- The SPD will be prepared in consultation with existing residents and will assess existing issues within the area and options to address these have regard to the following:
 - the form, function and quality of existing buildings on site
 - the potential for refurbishment
 - the principles under which demolitions would be considered
 - the different and distinct characteristics of areas within and adjacent to the Allocation area, including (but not limited to) Lido Square, Moira Place, and Somerset Close
 - the management and maintenance arrangements
 - the community groups active on the site and their aspirations and needs
 - opportunities to further improve the urban realm across the site.
- Where new development is proposed:
 - the optimum quantum of development to be provided

- the requirement to replace affordable residential floorspace in accordance with Policy SP2
 - the housing mix in accordance with Policy DM11 and Council's Housing Strategy
 - the achievement of a high-quality development that integrates with its surroundings
 - housing decant considerations
 - the capacity of the existing community facilities to match any development, including existing shortfalls where they exist
 - the need to improve the transport accessibility of the site to serve the new development and the existing community, including public transport, cycling and walking, and alterations to the surrounding road network
 - consideration of feasibility and viability constraints; and
 - the delivery/implementation plan, including phasing strategy if necessary.
- Have regard to the opportunity to deliver the objectives of the Thames River Basin Plan, in accordance with Regulation 17 of the Water Environment Regulations 2013.

Development Guidelines

- There may be opportunities to link the open spaces in the area, particularly Lordship Recreation Ground, to benefit wider areas of the Borough through the Green Grid network.
- This site is identified as being in an area with potential for being part of a decentralised energy network. Proposals should reference the Council's latest decentralised energy masterplan regarding how to connect, and the site's potential role in delivering a network within the local area.
- Studies should be undertaken to understand what potential contamination there is on this site prior to any development taking place.

Housing Supply

The Council at the present time is unable to fully evidence its five-year supply of housing land. The 'presumption in favour of sustainable development' and paragraph 11(d) of the NPPF should be treated as a material consideration when determining this application, which for decision-taking means granting permission unless the application of policies in the NPPF that protect areas or assets of particular importance provides a clear reason for refusal or any adverse impacts of doing so would significantly and demonstrably outweigh the benefits when assessed against the policies in the NPPF taken as a whole. Nevertheless, decisions must still be made in accordance with the development plan (relevant policies summarised in this report) unless material considerations indicate otherwise (of which the NPPF is a significant material consideration).

Development Principles – Demolition and Estate Renewal

- 6.19 As described above the Mayor of London's Good Practice Guide to Estate Regeneration (GPGER) guidance document for estate regeneration describes three key principles which should be met in order to achieve better homes for local people

within estates. These are: an increase in affordable housing within the estate, full rights to return for social tenants and a fair deal for leaseholders.

- 6.20 The guidance also states that prior to pursuing demolition as an option, the Council should consider whether there are alternative options that would provide an increase in affordable housing without requiring the potential disruption associated with demolition. The option to demolish and rebuild an estate should be set against the wider social and environmental impacts to ascertain whether demolition and rebuild is the most optimum solution.
- 6.21 Furthermore, the guidance requires estate regeneration projects which involve the demolition of existing affordable homes to demonstrate that they have secured resident support for their proposals through a ballot.

Alternatives to Demolition of Existing Homes

- 6.22 The Broadwater Farm Estate was constructed using a Large Panel System methodology, which has subsequently been found to have inherent structural defects in certain circumstances. As set out above in 2017 the Council commissioned comprehensive structural surveys to fully consider the condition of all blocks on the Estate. These surveys identified serious structural defects in the construction of the Tangmere and Northolt blocks. The blocks failed tests relating to their ability to withstand the force of a vehicular strike to the building or a bottled gas explosion, with the subsequent risk of a potential progressive collapse. The alternative option of carrying out extensive structural works to and refurbishment of these blocks was looked into and considered. However, this non-demolition option was identified as being prohibitively expensive. It was subsequently concluded that demolition was the only viable option for the Tangmere and Northolt buildings.
- 6.23 Following extensive consultation with residents of the blocks and with the above structural analysis in mind the Council resolved to demolish Tangmere and Northolt blocks in November 2018. Since that time the Council has taken steps to rehouse all secure Council tenants and acquire the interests from the owners and occupiers of those properties in order to enable the required demolition and redevelopment to occur with minimal disruption to residents.
- 6.24 Whilst Stapleford North block does not have the same structural problems that necessitate its immediate demolition its siting immediately to the south of Northolt block and the energy centre and between Northolt and Tangmere blocks (and given the age of the building) means that the opportunity has been taken, following a statutory consultation exercise with residents, to include the demolition of this building in the proposals in order to optimise the overall development and maximise the public benefits from the development in terms of the provision of affordable housing and comprehensive improvements in the public realm.

Provision of Affordable Housing

- 6.25 The Mayor of London's GPGER guidance sets out that, in addition to ensuring no net loss of affordable homes, estate regeneration schemes must provide as much additional affordable housing as possible. This matches the requirement in Policy DM11 of the Development Management DPD which requires proposals for comprehensive renewal of social housing estates to re-provide the existing affordable

housing on an equivalent habitable room basis, tailored to better meet current housing needs and the achievement of more inclusive and mixed communities.

- 6.26 The proposals will deliver 294 new homes as 100% affordable housing for council rent (subject to future purchase of individual homes by returning leaseholders). This represents an uplift of 52 additional council rent homes within the estate, with a potential net gain of up to 95 council rent homes (subject to the final number of returning leaseholders). The number of affordable habitable rooms within the application site would significantly increase from 852 to 1,242 and the number of bedspaces would also rise significantly from 687 to 1,164. The affordable residential floor space would increase from 11,243sqm to 24,580 sqm. This highlights how the new homes are substantially larger and provide more bedrooms than the existing homes that are to be demolished. All homes would be of a high quality in construction and physical design as described in the sections below.
- 6.27 New homes in council rented tenure are the greatest affordable housing need identified in the Council's Housing Strategy 2017-22 and as such this development proposal makes a substantial contribution to the Council's affordable housing objectives in line with Policy SP2 of the Local Plan and Policies DM10, DM11 and DM13 of the Development Management DPD.
- 6.28 The wider area is an established residential area which includes a range of tenures, including dwellings that are owner-occupied and those available for private rent. The proposal would therefore contribute to the creation of a mixed and balanced community in the local area.
- 6.29 As such, given that the development is for 100% council rented homes and provides a significant uplift in the number of affordable homes, habitable rooms and bedspaces on site, there is no net loss of affordable homes (rather a substantial increase) and it is also considered that the affordable floor space within the development has been maximised. Furthermore, the requirements of Policy DM11 have also been met with regard to meeting housing need and providing more inclusive and mixed communities.

'Right to Return' and a 'Fair Deal' for Leaseholders

- 6.30 London Plan Policy H8 states that affordable housing that is replacing existing social rented accommodation must be provided at social rent levels that facilitates a right of return for existing social rent tenants. Mayor of London's GPGER guidance states that replacement social rented accommodation should offer a 'fair deal' to resident leaseholders and freeholders, in the form of providing the right to a new home within the new development.
- 6.31 As already confirmed in the above sections of this report, the existing council rented homes and equivalent floorspace would all be replaced as part of this proposed development. The Council has successfully re-housed all secure tenants from Tangmere and Northolt and Stapleford North. It has been confirmed that under the Broadwater Farm Rehousing and Payments Policy (agreed at Cabinet in November 2018) all secure tenants that have moved off the estate have a guaranteed 'Right to Return'. This means that where residents are decanted into temporary alternative living accommodation and their original home is demolished, they may return to a newly built homes on the estate on similar terms to their previous tenancy, with rents capped at no more than 10% above the average for similar properties on the estate.

Also, under this agreement returning leaseholders would have the option of purchasing their new home.

- 6.32 The new council homes would be prioritised for Broadwater Farm residents. Priority access to the new homes would be given firstly to former residents of Tangmere and Northolt, then to former Stapleford North residents. Any homes that remain available following the first phase of prioritisation to former residents would then be offered to eligible Broadwater Farm Estate secure tenants through the Neighbourhood Moves Scheme (which prioritises existing residents within 250 metres of a Council home being demolished) based on housing need, with priority given to those on the Estate who are currently either under-occupying their current home or living in over-crowded homes.

Full and Open Consultation

- 6.33 The applicant has undertaken a series of public consultations in the form of a wide-ranging public engagement programme with residents of the estate over more than 18 months ahead of submitting this planning application. Comments received during the public consultations have influenced the content and design of this development proposal. Further details of the public consultation approach are set out in the Statement of Community Involvement submitted with the application.
- 6.34 A ballot of eligible residents on the estate was undertaken from 11th February to 7th March 2022 on the question “Do you support the redevelopment proposals within the Broadwater Farm Estate as set out in the Landlord Offer?”. The result was announced on 8th March 2022: on a turnout of 55% of eligible voters. 85% supported the proposal. This planning application has been submitted following the result of that ballot.

Demolition and Estate Renewal – Summary

- 6.35 The application meets the requirements of London Plan Policy H8 and the Mayor of London’s Good Practice Guide to Estate Regeneration guidance document by only demolishing buildings where there is no reasonable alternative, by providing a net increase in affordable housing in Council Rent tenure, by maximising the affordable housing on site, by providing a full right to return for social tenants and a fair deal for leaseholders and freeholders, and by comprehensively consulting estate residents on the proposed development scheme. The development proposal is fully supported by eligible residents following a ballot, as described above.
- 6.36 It is also noted that the GLA’s Stage 1 comments are supportive of the development proposal’s estate renewal principles. As such, it is considered that the demolition and renewal of the Estate is acceptable.

Site Allocation and Masterplanning

- 6.37 The application site forms part of SA61 which seeks improvements to the housing stock, routes through and overall design of the site allocation. The site requirements and development guidelines of the site allocation are described in full above.
- 6.38 SA61 requires that any development must be ‘in accordance with a masterplan, prepared with the involvement of residents’ and also requires that a supplementary planning document (SPD) be submitted that includes comprehensive information in respect of form, function, quality, refurbishment and demolition potential, character

analysis and urban realm improvements in the local area. SA61 also requires any development to be supported by further information that clarifies additional matters including the provision of optimised development, provision of high-quality development, and transport, viability and phasing considerations.

- 6.39 Policy DM55 of the Development Management DPD states that development that forms part of a site allocation must be accompanied by a masterplan for the wider site and beyond that demonstrates the proposal will not prejudice the future development of other parts of the site or adjoining land and will not prejudice the delivery of the site allocation and its wider area outcomes.

Urban Design Framework

- 6.40 This application is supported by an Urban Design Framework (UDF) in lieu of an SPD and masterplan. The UDF covers the Broadwater Farm Estate only as the remainder of SA61 to the north would not be directly affected by either this proposal, or any future development on the estate. The UDF has been developed in consultation with the local community through a series of public consultation events and design workshops.



- 6.41 The UDF includes a set of urban strategies for the wider estate within which this development proposal will sit. These strategies aim to ensure safe and healthy streets, welcoming and inclusive open spaces, active ground floors, good quality homes and an appropriate character and scale for the estate. The UDF shows how the development proposals will fit into a longer-term investment strategy for the Broadwater Farm Estate, including building refurbishment projects, public realm improvement projects and details of phasing and maintenance, in order to deliver maximum benefits for residents.
- 6.42 The UDF, by providing a spatial and urban design analysis of the existing estate and its surroundings, and also given its collaborative design with significant input from

residents, shows that the requirements of SA61 will be met. The UDF shows that this application would reinforce Adams Road and Willan Road as key active east-west links that will connect Lordship Recreation Ground with the existing residential neighbourhood via the new Civic Squares. The UDF also enables the quality of the new housing to be maximised and the visual appearance the existing estate to be improved through the proposed new developments and public realm interventions.

- 6.43 Therefore, by providing a comprehensive and logical long-term plan for the Broadwater Farm Estate as a whole in the form of the UDF produced in collaboration with existing estate residents through a series of public consultation events, it is considered that an appropriate masterplan for the future development of the estate has been provided which is in accordance with Policy DM55 and delivers the wider objectives of Site Allocation SA61.

Other Site Allocation Objectives

- 6.44 The masterplanning and estate renewal objectives of SA61 have been considered above and the other site allocation objectives, including the provision of an appropriate housing mix, land contamination considerations and connection to a district energy network will be discussed in the relevant sections below

Provision of Non-Residential Uses

Moselle School

- 6.45 Policy S3 of the London Plan states that there should be no net loss of education facilities unless it can be demonstrated that there is no ongoing or future need. The Moselle School has been closed since 2011 when pupils relocated to the adjacent Brook and Willow schools and the nearby Riverside School. It was demolished in early 2022. As pupils have been accommodated in other local schools and there is no longer a need for this school on the site.

Health Facilities

- 6.46 Policy S2 of the London Plan states that new high-quality and enhanced health and social care facilities that meet an identified need and provide new models of care should be supported. Policy DM49 of the Development Management DPD seeks to protect existing social and community facilities unless a replacement facility is provided which meets the needs of the community.
- 6.47 The utilisation of the existing medical centre is sub-optimal, with less than half (130sqm of 370sqm) of the building operational and opening hours from 8am to 1pm weekdays only. The Council's Connected Communities service operates from the medical centre but can only operate during the existing allotted opening hours.
- 6.48 The new Wellbeing Hub (266sqm) is proposed to replace the medical centre with a modern flexible space that would be easily accessible from the ground floor of the new Tangmere block. The Wellbeing Hub would re-provide existing GP facilities as part of a broader range of services within an improved environment. The Hub would reflect new forms of healthcare provision by enabling health staff and services to be co-located with other related services within local communities, which facilitates greater and more efficient service integration and improves health outcomes through increased early intervention. With these objectives in mind the Wellbeing Hub has been designed

in consultation with GPs, the Clinical Commissioning Group and Connected Communities, with input from local residents, and is expected to enhance the relationship between GP services and the Council's Connected Communities service. The new Hub would not result in a reduction in GP services. The Council's Health in All Policies Officer is in support of this application.

- 6.49 As such, the new health facilities would meet the requirements of London Plan Policy S2 and is therefore acceptable in principle in land use terms.

Enterprise Centre

- 6.50 Policy E2 of the London Plan states that developments that involve the loss of workspace in areas where there is a shortage of lower-cost space should ensure the equivalent amount of floorspace is re-provided. Policy DM40 of the Development Management DPD seeks to facilitate the renewal and regeneration of existing non-designated employment land and floorspace.
- 6.51 The existing Enterprise Centre is formed of 19 units with 665sqm of Class E floorspace. The units are leased to the Broadwater Farm Community Enterprise Works (BCEW) community enterprise. BCEW let the units in a manner through which they can support training and business opportunities for local people.
- 6.52 The Enterprise Centre units (550sqm) must be demolished due to their siting in between Tangmere and Northolt blocks. They would be re-provided in modernised and expanded premises of varying sizes totalling 635sqm and located in strategic positions on the ground floor of the proposed development, which would improve the prominence of these community-led business units and increase natural surveillance throughout the estate by increasing the distribution of business activity.
- 6.53 BCEW would continue to operate the new Enterprise Centre units for a minimum ten-year period.
- 6.54 Given that these business units would be replaced on similar terms in upgraded and expanded premises the replacement Enterprise Centre would meet the requirements of London Plan Policy E2 and is therefore acceptable in principle in land use terms.

New Retail Unit

- 6.55 Policy DM41 states that proposals for new retail uses outside of town centres should demonstrate that there are no suitable town or edge-of-centre sites available in the first instance, be subject to an impact assessment where required by national policy, and demonstrate that they would not harm nearby town centres.
- 6.56 The proposed development includes a new retail space of 381sqm on the ground floor of a new building on the site of the former Moselle School, fronting onto Adams Road. This unit would primarily serve residents on the estate. The retail unit has been integrated into the development at the request of estate residents seeking access to convenience items. The location of the retail unit would provide further natural surveillance and street level activity onto this part of the Estate which is at a key junction between the new diagonal link through the Estate and Adams Road. The NPPF sets a threshold of 2,500sqm for a retail impact assessment, which is not triggered by this small retail unit. The retail unit would help to cement Adams Road as

a key route within the Estate by attracting visitors into the Estate and increasing pedestrian activity in this area.

- 6.57 Given its focus on primarily serving Estate residents, and the importance of its siting in urban design terms, the proposed new retail unit would be acceptable in land use terms.

6.58 Summary

- 6.59 The proposed non-residential uses would replace the existing community and business facilities on the estate in a more appropriate and contemporary format, would contribute to an active local environment and would create up to 25 additional jobs for the local community. As such, the proposed non-residential uses would be considered acceptable.

Affordable Housing and Affordable Housing Mix

Financial Viability

- 6.60 Policy H8 Part E of the London Plan requires all development proposals including the demolition and replacement of affordable housing to follow the viability tested route and should seek an uplift in affordable housing as well as replacing the existing affordable floorspace. The development replaces all affordable housing (in terms of both units and floor area) that is to be demolished and maximises the affordable housing provision on site as part a development for 100% council rented housing that has been optimised through a rigorous design-led approach. As such, the GLA has confirmed that a financial viability review is not required for this proposal.

Affordable Housing Provision

- 6.61 Policy H8 of the London Plan requires the like-for-like reprovion of affordable housing floorspace at social rent levels where it is being provided to facilitate a right of return for existing social rent tenants. The London Plan also states that boroughs may wish to prioritise meeting the most urgent housing needs early in the Plan period, which may mean prioritising low-cost rented units of particular sizes.
- 6.62 Policy SP2 states that the Council will maximise the supply of additional housing to meet and exceed its minimum strategic housing requirement and identifies the Broadwater Farm Estate as one of nine estates in greatest need of regeneration/renewal. Policy SP2 and Policy DM13 of the Development Management DPD call for at least 40% affordable housing to be provided on new developments with a tenure split of 60% affordable/social rent and 40% intermediate housing.
- 6.63 The proposed development would provide 100% Council Rented properties to replace those homes that are to be demolished, with an uplift of at least 52 Council Rented homes on site. The focus on the provision of Council Rent housing is justified by both the requirements of Policy H8 of the London Plan and the significant identified need for additional social housing in the borough.

Affordable Housing Mix

- 6.64 DPD Policy DM11 states that the Council will not support proposals which result in an over concentration of one or two-bedroom units overall unless they are part of larger

developments or located within neighbourhoods where such provision would deliver a better mix of unit sizes.

- 6.65 Haringey's Housing Strategy 2017-22 sets out the target dwelling mix for Social Rent and other low-cost rent housing as being 10% one-bedroom, 45% two-bedroom, 45% three-bedroom and 10% four-bedroom homes. The London Plan and Mayor's Viability SPG states that in order to incentivise developments providing over 75% affordable housing (such as this application), local planning authorities may apply housing mix policies flexibly.
- 6.66 The affordable housing mix for the development proposal is as set out below:

	1 bedroom	2 bedrooms	3 bedrooms	4 bedrooms	Total
No. of homes (existing)	170	8	61	3	242
Percentage mix (existing)	70.2%	3.3%	25.2%	1.2%	100%
No. of homes (proposed)	84	106	60	44	294
Percentage mix (proposed)	29%	36%	20%	15%	100%

- 6.67 The proposals include an over-provision of one-bedroom homes and a slight under-provision of two and three-bedroom homes against the targets stated above. However, in the wider context of the Broadwater Farm Estate as a whole the provision of 35% family-sized homes is considered substantial given that the estate currently includes a much lower proportion of family homes (13%). Furthermore, this development would include a very high proportion (15%) of larger four-bedroom homes of which there are currently very few (less than 1%) on the estate. Overall, the development would result in a 62.5% increase in family homes within the area of this application site, which would help to address existing issues of overcrowding.
- 6.68 This proposal would substantially increase the number and proportion of family-sized and larger family-sized affordable housing on the estate and as such the affordable housing mix is considered acceptable.

Design and appearance

National Policy

- 6.69 Chapter 12 of the NPPF 2021 states that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 6.70 It states that, amongst other things, planning decisions should ensure that developments function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development, and should be visually attractive due to good architecture, layouts, and appropriate and effective landscaping.

Regional Policy – London Plan

- 6.71 The London Plan 2021 policies emphasise the importance of high-quality design and seek to optimise site capacity through a design-led approach. Policy D4 notes the importance of scrutiny of good design by borough planning, urban design, and

conservation officers (where relevant). It emphasises the use of the design review process to assess and inform design options early in the planning process (as has taken place here).

- 6.72 Policy D6 concerns housing quality and notes the need for greater scrutiny of the physical internal and external building spaces and surroundings as the density of schemes increases due the increased pressures that arise. It also requires development capacity of sites to be optimised through a design-led process.

Local Policy

- 6.73 Policy SP11 of the Haringey Local Plan requires that all new development should enhance and enrich Haringey's built environment and create places and buildings that are high quality, attractive, sustainable, safe and easy to use.
- 6.74 Policy DM1 of the 2017 DPD requires development proposals to meet a range of criteria having regard to several considerations including building heights; forms, the scale and massing prevailing around the site; the urban grain; and a sense of enclosure. It requires all new development to achieve a high standard of design and contribute to the distinctive character and amenity of the local area.
- 6.75 DPD Policy DM6 expects all development proposals to include heights of an appropriate scale, responding positively to local context and achieving a high standard of design in accordance with Policy DM1. For buildings projecting above the prevailing height of the surrounding area it will be necessary to justify them in in urban design terms, including being of a high design quality.

Quality Review Panel (QRP)

- 6.76 The development proposal been presented to the QRP three times prior to the submission of this application. The most recent review took place on 16th February 2022. The Panel's summarising comments of this latest review are provided below.
- 6.77 *"The panel commends the design team's extensive community engagement and the integration of the community's aspirations into the proposals. It supports the scale and massing of the proposals and finds much to admire in the architecture. Acknowledging the alignment of the River Moselle establishes a diagonal through route which is positive, but further consideration should be given to the clarity of the section of the route through the Tangmere block. As the design development progresses, a clear and legible hierarchy of spaces should be established throughout the estate; in particular, greater definition of the civic squares is required. Further information is needed on the scope of the Urban Design Framework, including how the scheme fits into the framework and details on the priorities and timelines for all new and refurbishment projects."*
- 6.78 Since the date of the third review the proposal has been amended to address the most recent comments from the QRP. The table below provides a summary of key points from the most recent review, with officer comments following:

<i>Panel Comments</i>	<i>Officer Response</i>
Development Approach / Urban Design Framework	
The success of the scheme will be	A thorough and comprehensive UDF

heavily reliant on the refurbishment of the remainder of the Broadwater Farm Estate. Further details are needed on the Urban Design Framework, to demonstrate how the scheme fits into it and to give officers confidence that the long-term vision for the estate has been carefully considered.	has been provided that outlines the urban strategies that would be implemented across the estate and how this application fits within that wider vision. A detailed long-term masterplan has also been provided as part of the UDF (page 148).
As noted in the previous report, more information is needed on how the three work streams – the new build, the pilot project retrofit scheme and the bank of mini projects – will fit together.	The UDF includes details of a series of future projects that fit into the long-term masterplan in Section 3, which includes public realm improvements and pilot projects for Martlesham and Rochford blocks and Griffin Road.
A prioritised list of the retrofit and bank of mini projects and a timeline for their delivery, will give officers confidence that residents will be assured a high quality of life throughout all phases of the works.	The UDF also includes detailed and comprehensive information on three projects which are of a higher priority and expected to be implemented relatively soon. Other projects have a longer timeframe. All projects are dependent on funding and further design work and as such detailed timeframes cannot be provided at this stage.
For example, it is crucial that the refurbishment of the existing buildings to the north and west edges of the new public park are given high priority, so that a high-quality open space is assured from the outset.	Works to the ground floor of Manston and Lympne buildings (immediately north and west of the proposed new park), along with works to Adams Road north of the park, have been identified as Project 1 in the list of the projects. Early implementation of this particular project would be sought as part of the Council's Estate Improvements Programme.
The panel had also suggested, in the previous report, that the bank of mini projects could be prioritised to reinforce the green link to the Lordship Recreation Ground, in addition to testing out and improving lighting solutions across the estate.	A 'green' connection to Lordship Recreation Ground would be reinforced through Project 1 (see above) and Project 2 which would provide an improved entrance to the park in addition to the public realm around the community centre in the north-west corner of the site. Both schemes would improve lighting, wayfinding and provide new tree and other planting.
Further details are also needed on the hierarchy of streets and spaces, as well as the types of spaces being	One of the key aims of the UDF is to 'create safe and healthy streets', and the UDF states that this would be

created and the activities that will be included for all age groups within each of them.	achieved through the creation of a clear street hierarchy. Adams Road is to be prioritised as a 'green link' through the estate and Willan Road a key connection to the nearby Lordship Recreation Ground. 'Welcoming and inclusive open spaces' is also a key aim of the UDF and as such it is considered these matters have been addressed comprehensively within the submitted UDF document.
The Urban Design Framework should include details on circulation and movement including new entrances and lobbies and the location of cycle and bin stores.	The UDF provides a detailed section on the quality of the proposed new housing and explains in detail how the internal spaces including communal entrances and the resident journey from entrance to front door have been considered. Details include information on internal cycle and utility space areas. Further information on bin and cycle storage is provided within the Design and Access Statement.
Public Realm / Landscape Design	
The panel feels that further work is needed to establish a clear and legible hierarchy of spaces throughout the estate. This should be reinforced by the lighting proposals, to ensure that the estate is safe and accessible for all.	The UDF and Design and Access Statements demonstrate a clear street hierarchy with Adams Road a priority 'green link', Willan Road a key secondary route, and both of these east-west streets connected by the new diagonal route, public park and civic squares. Lighting will form an important element of the street and building entrance designs and further details of lighting would be secured by condition.
The nature of the two new civic spaces need greater definition, to clarify the purpose of these spaces within the wider estate and to ensure that they are more positively framed by adjacent buildings and active uses.	The UDF includes a section that specifically describes how the civic spaces would function. These spaces would anchor the new public park and are designed with seating and planting integrated to form active locations within the public realm for social gathering, public life and incidental play.
The panel welcomes the new diagonal through-route that follows the path of the Moselle River from Gloucester	The south-west corner entrance to the Tangmere building courtyard is open to the public and its location

<p>Road, in the south west, to Adams Road, in the north east. The section of the route through the Tangmere block needs further clarity. One suggestion is that the south-west corner of the block could be opened up to make the route more inviting and to support the design team's aspiration to create a desire line that is used by both residents and the wider public.</p>	<p>would be highlighted by the chamfered street corner located where the road south of Tangmere meets Gloucester Road. This is an accessible route during the day but will be closed at night for security reasons and as such this has not been highlighted through the proposed built form as a primary route through the estate. High quality public realm is also available around all other sides of the Tangmere building.</p>
<p>The panel understands that the proposal for the courtyards to be open to the public, with controlled access at night, has been driven by community engagement. It suggests that it would be beneficial to have one clear and consistent strategy for all the courtyards across the estate, including access control and how this is implemented and managed.</p>	<p>This is indeed the case. Courtyards shall be open during the day for public access and use and shall be closed at night to ensure these spaces are secure. A detailed management plan for these courtyards would be secured by condition.</p>
<p>Further consideration should be given to how the Moselle block will address the adjacent school car park and green space.</p>	<p>The existing car parking area for the former school currently dominates the street frontage on Adams Road. Although the school has closed the car park is still used for staff parking relating to the adjacent school which is currently operational. The car park has been re-configured to best meet the objectives of providing an active street frontage and retaining parking for the existing school that can be accessed from Adams Road. The play area would also be retained by the existing school and reconfigured to improve its accessibility and usage.</p>
<p>Consideration should be given to who will be responsible for the ongoing maintenance of the landscape, in particular, planting defining the defensible space of the ground floor flats.</p>	<p>Maintenance of the public realm areas on the estate is currently managed by a combination of Council departments including Parks and Highways under the supervision of the Council's Housing section. Details of maintenance would be secured by planning condition.</p>
<p>Architecture</p>	
<p>The panel finds much to admire in the architecture and would encourage the</p>	<p>The architecture for the new buildings has been developed in consultation</p>

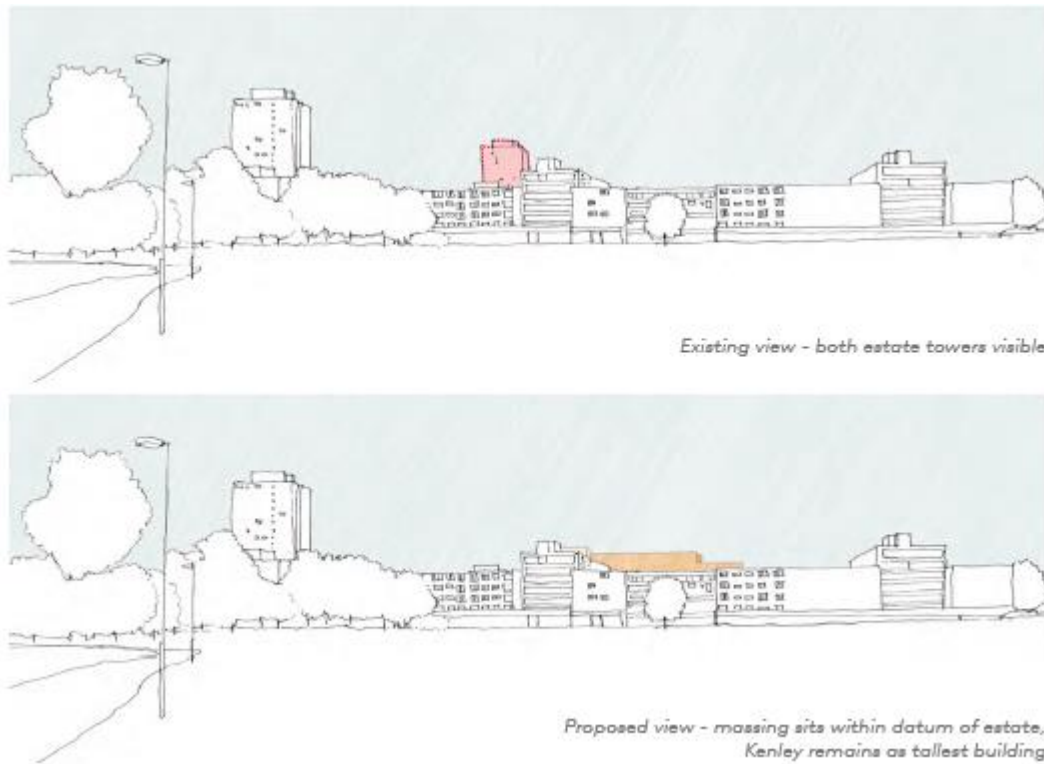
design team to be bolder in their approach. For example, the introduction of characterful buildings or moments in key locations would add richness and variety that would benefit the scheme.	with residents over two years and residents identified these designs and materiality as the preferred approach. Characterful elements and moments of delight would be considered as part of the future pilot projects and wayfinding installations.
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- 6.79 As set out above, the applicant has sought to engage with the QRP during the pre-application stage, and the development proposal submitted as part of this application has evolved over time to respond to the detailed advice of the panel. It is considered that the points raised by the QRP have been addressed to an appropriate extent.

Assessment

Height, Scale and Massing

- 6.80 Policy D9 of The London Plan 2021 states that buildings of six storeys or more may be considered as tall buildings and that Councils should define what is considered a tall building in their local plans. Tall buildings are defined in the Council's Development Management DPD as those buildings which are of 10 storeys or greater. The new buildings within the proposed development would be a maximum of nine storeys in height. As such, the proposed development by definition would not include any tall buildings.
- 6.81 Policy DM5 of the DM DPD states that obstructions to locally significant views should be minimised.
- 6.82 The development would remove the nineteen storey Northolt building from the site, replacing it with new buildings with a more evenly distributed massing and a much lower built form no greater than nine storeys in height, which is below the threshold for a tall building as set by the Council's Local Plan. Proposed building heights would not exceed those rising above the general eight storey datum through the wider estate. These new buildings would have an improved relationship with local streets by way of their more consistent scale.



- 6.83 The southern part of the development would be located within locally significant view no. 20 (Watermead Way railway bridge to Alexandra Palace). The development would locate the relatively low-scale terraced houses and the southern side of the replacement Tangmere building in the location of that protected view. These elements of the development proposal would not be significantly visible from outside of the existing estate and as such would not obstruct the protected view.
- 6.84 As such, it is considered that the proposed buildings would be of a height, scale and massing that would improve the character and appearance of the area, and would also have a minimal impact on a protected view.

Development Layout, Form, Massing and Height

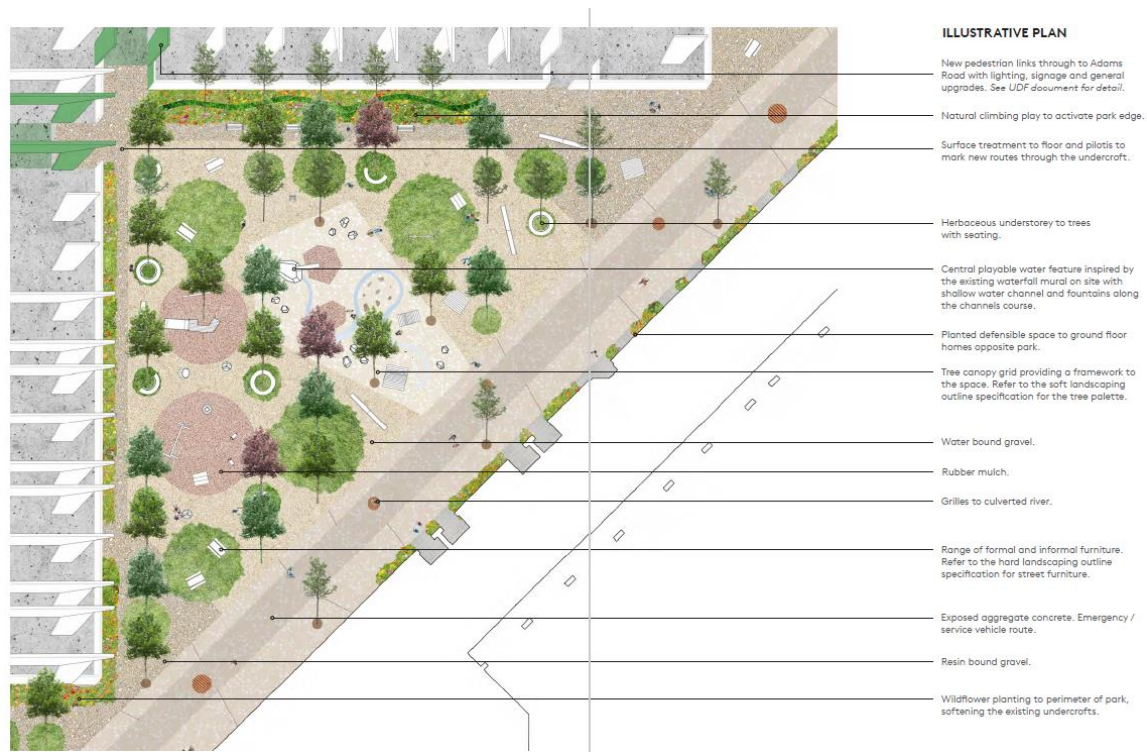
- 6.85 The proposals embrace the best of the architectural style and form of the existing estate, provide a clear definition between streets and spaces, and incorporating shared central courtyards. Courtyards would be defined with secure boundaries that provide clear demarcation between public and shared private realm in accordance with best urban design practice.
- 6.86 At the southern end of the site new terraced townhouses would back onto the existing houses to the south, matching them in scale form and height. The typologies of houses in this area would be similar with terraced properties proposed and back gardens sited against the existing back gardens, with the new three storey providing a step up in scale into the estate from the two storey existing terraced homes. Similarly at the northern end of the proposed development, the northern side of the new Moselle block is to be formed of a row of townhouses, matching the scale of the existing housing to its north.

Elevational Composition, Materials and Detailing

- 6.87 The elevational composition of the proposed buildings would also reflect the best elements of the existing estate, combined elegant contemporary design features. The regular, gridded facades of the upper floors of the proposed buildings would echo the existing estate. The new buildings would include an additional distinctive base, which is a familiar characteristic of contemporary mansion block developments, and which contribute to rooting the proposed blocks in their street or space. Clearly identifiable front doors would be provided to ground floor maisonettes, communal entrances and non-residential uses. Front gardens would be provided to ground floor flats and maisonettes. The proposed communal entrances are particularly thoughtfully designed, with generous floor to ceiling heights and glazed areas giving an airiness and spaciousness to these areas, whilst durable materials within them would provide a sense of occasion and functionally.
- 6.88 Further on the design detailing, gable ends are also picked out with contrasting solids and voids, echoing the gridded facades of drying rooms in the gable ends of some existing blocks. Non-residential ground floor uses have shopfront designs appropriate for their intended uses feature clearly distinguished signage zones. The tops of taller buildings are expressed as a crown, adding to their distinctiveness and aiding their elegance of composition.
- 6.89 The proposed materials palette incorporates a significant amount of pre-cast concrete, echoing the use of this distinctive feature on the existing estate. Brick features almost as strongly in the proposed development, thus the new buildings reconcile the finishing materials of the both the exiting estate and the existing housing in the surrounding area. This material palette would be durable and would maintain an attractive appearance over time, provided the quality of specification and detailing is maintained by condition. This warm palette of familiar finishing materials would be complemented by deep colours for joinery and metalwork, with a subtly different and distinctive brick and colour used for each of the three blocks to help with wayfinding and identification.

Public Realm

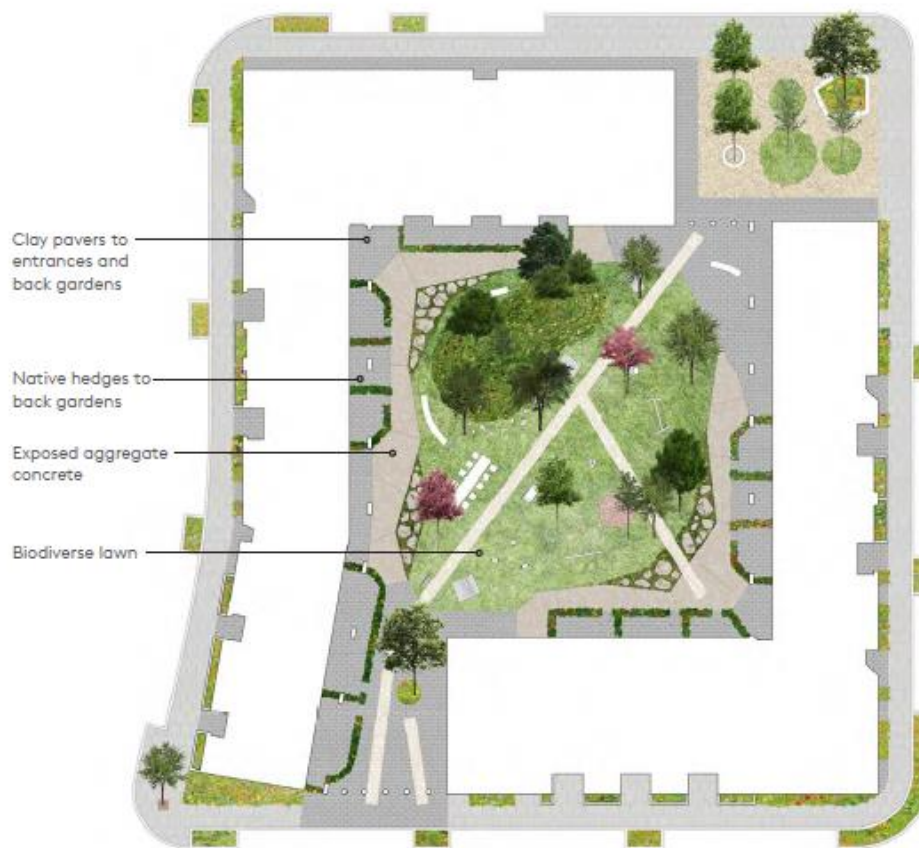
- 6.90 The proposed development would include high-quality improvements to public realm areas including two new civic squares, a new park and internal courtyard amenity spaces. These public and amenity spaces have been designed to be safe and well-activated with high levels of natural surveillance.



- 6.91 The large park would be new key public space at the heart of the estate for both new and existing residents to spend time together. It would include tree planting, play equipment, seating and a water feature to maximise the benefits for residents of all ages. The park would replace the existing Memorial Gardens at the south of the site which are currently not well used and do not benefit from a lack of natural overlooking and passive surveillance. The local policing teams have been contacted by the Council's Community Safety Officer and it is confirmed that the Police support the principle of moving the Memorial Gardens to the centre of the estate where they can be more easily accessed by everyone. Details of the relocation of the memorial plaque in the gardens would be secured by condition. The Designing Out Crime Officer of the Metropolitan Police also supports the relocation of the Memorial Gardens.
- 6.92 The park is bookended by two civic spaces – one at the junction with Willan Road and another at the junction with Adams Road. The civic squares highlight the new diagonal route through the estate and the location of the new park by widening the space between the built form in these areas. They provide new greenery in the form of tree and flower planting as well as seating. Their wide and open nature enables their use for a range of public and community uses. The new route follows the Moselle Brook watercourse which runs in a culvert under the estate and the presence of this watercourse is highlighted through the inclusion of grilles into the new pathway as well as the inclusion of the water feature.



- 6.93 The courtyard spaces at the ground floor of both the replacement Tangmere and Northolt buildings would be open to the public during daylight hours. The Tangmere courtyard would form an extension to the new diagonal route through the site, connecting Adams Road and Gloucester Road during those times when the courtyard is open. The courtyards would have large amounts of tree and flower planting as well as clearly defined pathways. The courtyards would be bordered by private amenity areas for the ground floor residential properties. These spaces would have significant levels of natural surveillance from the proposed flats and access would be secured outside of daylight hours through gates. This is considered to provide the optimum balance between providing good quality space and security for residents.



- 6.94 To summarise, the new public realm areas would substantially improve pedestrian routes through the site and would bring the landscaped character of the adjacent Lordship Recreation Ground into the estate through significant amounts of new planting. The provision of seating and play space enables use of these spaces by a wide range of residents and maximises community activity in these areas. The new public realm would replace the existing poorly designed undercroft areas, replacing them with spaces that would be well-used and which would be subject to high levels of natural surveillance from existing and new homes and the proposed commercial and community uses. These public realm spaces would contribute towards the longer term objectives for the estate, as laid out in the Urban Design Framework, which is to improve the primacy and levels of activity on Adams Road and Willan Road as well as to increase the clarity of routes through the estate.

Summary

- 6.95 The proposed development would replace two buildings which must be demolished for safety reasons, plus other ageing structures, with a series of high-quality buildings of contemporary design that have a lower maximum height than the existing buildings within the application site, that have been designed to be reflective of the unique characteristics of the estate, that rearrange the public realm to bring activity onto surrounding streets and which significantly improve local safety and security. The buildings would have a more consistent height, scale and massing than the existing buildings on the application site and would make the best use of the available space on and around the site to maximise the provision of affordable housing. The buildings would not be significantly visible from outside of the existing estate and would not have a detrimental impact on protected local views. As such, they would appear as positive design features that would not appear out of keeping with the surrounding area and significantly improve the local built environment.

- 6.96 The development is supported by the Quality Review Panel. The Council's Design Officer supports the development by stating that: *"These proposals are an exemplary insertion into a large existing council estate, helping to resolve some of the [public safety and urban design] problems of large undercrofts and the ground frontage of pilotti [stilts] with new more street focussed buildings set around a series of logical routes and exciting public civic squares, landscaped courts and the new central garden square. The proposals will also help bridge the boundaries between the existing estate and surrounding streets, in their architectural expression and in the network of pedestrian friendly streets containing what should be attractive non-residential activities"*.
- 6.97 As such, it is considered that the development is acceptable in design terms.

Heritage Impact

Heritage Context

- 6.98 The application site does not fall within a Conservation Area and there are no listed structures or buildings on the site. The Tower Gardens Conservation Area is the closest heritage asset to the site (190 metres to the north). The Peabody Cottages Conservation Area is also a short walk to the north of the site and the Bruce Castle and Bruce Grove Conservation Areas are nearby to the north-east and east respectively. There are several listed and locally listed buildings within the Bruce Castle and Bruce Grove Conservation Areas, including the Grade I listed Bruce Castle.
- 6.99 An application for listing of the mural on Tangmere block has been made to Historic England which has made a recommendation on this matter to the Department of Digital, Culture, Media and Sport. A decision from DDCMS is expected in the near future. At the current time the mural is not listed either nationally or locally and the development proposal has been assessed in this context. If the heritage context for this application changes at any time prior to the date of the planning sub-committee appropriate measures will be taken to ensure heritage considerations are fully assessed. If the mural is listed any works to, removal or re-siting of the mural would require a separate listed building consent application to be submitted.

Policy Context

- 6.100 London Plan Policy HC1 seeks to ensure that development proposals affecting heritage assets and their settings should conserve their significance. This policy applies to designated and non-designated heritage assets. Local Plan Policy SP12 and Policy DM9 of the Development Management DPD set out the Council's approach to the management, conservation and enhancement of the Borough's historic environment, including the requirement to conserve the historic significance of Haringey's heritage assets and their settings.
- 6.101 Policy DM9 also states that proposals affecting a designated or non-designated heritage asset will be assessed against the significance of the asset and its setting, and the impact of the proposals on that significance.

Assessment of Impact on Heritage Assets and their Setting

- 6.102 The setting of a heritage asset is defined in the glossary to the NPPF as: "The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral". There is also the statutory requirement to ensure that proposals 'conserve and enhance' the conservation area and its setting.
- 6.103 The development proposal includes buildings of up to nine storeys in height that would be located in the centre of the existing Estate. The nearest heritage asset is 190 metres away. Given the size, scale and amount of built form between the proposed development and other heritage assets in the wider area, it is considered that the proposed buildings would not be visible to any significant extent within the backdrop of local heritage assets.
- 6.104 The Council's Conservation Officer has reviewed the proposal and raises no objection from a conservation perspective as no heritage asset is expected to be affected by this proposal.
- 6.105 Therefore, the proposed development is considered acceptable in terms of its impact on built environment heritage assets as it would not result in any harm on the setting and significance of nearby heritage assets.

Archaeology

- 6.106 Policy HC1 of the London Plan states that development proposals should identify assets of archaeological significance and use this information to avoid harm or minimise it through design and appropriate mitigation. Policy DM9 of the DM DPD states that all proposals will be required to assess the potential impact on archaeological assets and follow appropriate measures thereafter in accordance with that policy.
- 6.107 The site is not located within an archaeological priority area. The Greater London Archaeological Advisory Service (GLAAS) has been consulted on this application. GLAAS advises that the development proposal would be unlikely to have a significant effect on heritage assets of archaeological interest.
- 6.108 As such, the proposed development would be acceptable in terms of its impact on archaeology.

Residential Quality

General Layout

- 6.109 The Nationally Described Space Standards set out the minimum space requirements for new housing. The London Plan 2021 standards are consistent with these. London Plan Policy D6 requires housing developments to be of high-quality design, providing comfortable and functional layouts, benefiting from sufficient daylight and sunlight, maximising the provision of dual aspect units and providing adequate and easily accessible outdoor amenity space. It provides qualitative design aspects that should be addressed in housing developments.
- 6.110 The Mayor of London's Housing SPG seeks to ensure that the layout and design of residential and mixed-use development should ensure a coherent, legible, inclusive

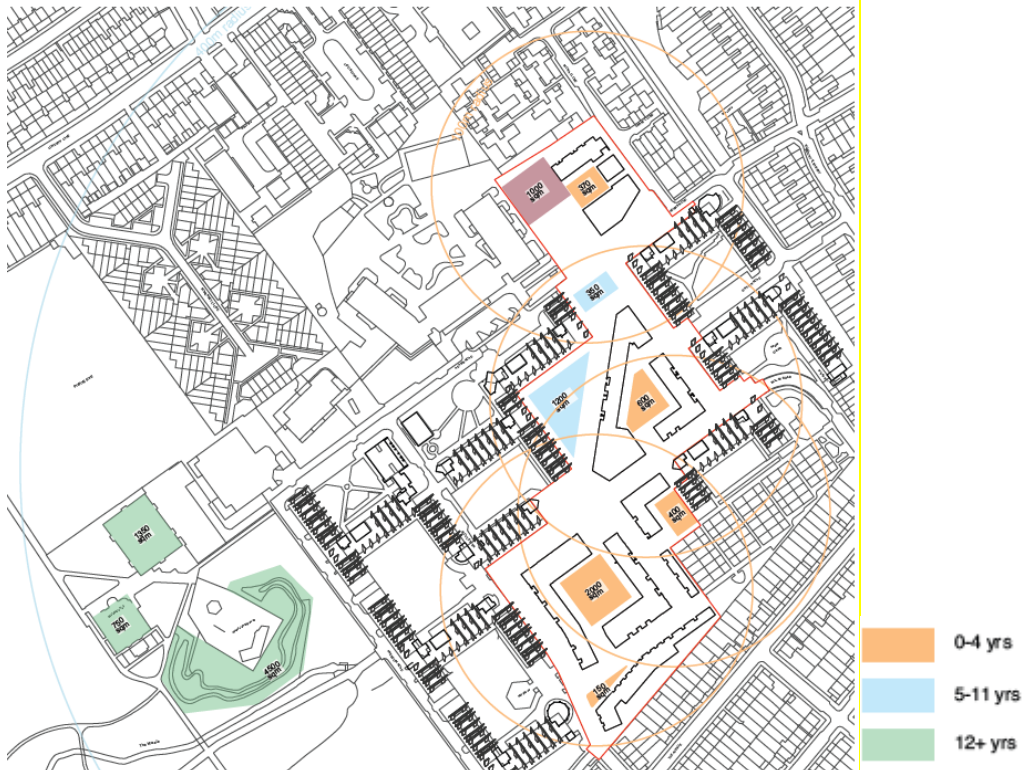
and secure environment is achieved. Policy DM1 requires developments to provide a high standard of amenity for its occupiers.

- 6.111 In general terms, the development is of a very high-quality layout and residential standard, having been through a rigorous design process including assessment by the Quality Review Panel.
- 6.112 All properties meet the internal space standards of the London Plan and the floor-to-ceiling height and homes per core requirements of the Housing SPG. All new homes would be dual or triple aspect. Family-sized homes are located at ground floor level where possible. Homes have been designed to minimise circulation spaces and maximise living areas. They would be well-lit and well-ventilated. Storage and utility space has been integrated into all floors including cycle stores for larger homes.
- 6.113 A mix of open plan and separated kitchen/living spaces would be provided to ensure residents have a choice and are easily able to adapt their homes to their preference. In larger homes all kitchens and living spaces will be provided separately.

Amenity and Children's Play Space

- 6.114 Standard 26 of the Mayor's Housing SPG requires that all homes should benefit from a private amenity space of at least 5sqm (or greater as required) and the proposed development meets this requirement through the provision of balconies, terraces and rear gardens as appropriate. All properties also have access to the new shared courtyards and public realm areas.
- 6.115 Policy S4 of the London Plan seeks to ensure that all children and young people have safe access to good quality play and informal recreation space, which is not segregated by tenure. At least 10sqm per child should be provided to all qualifying developments.
- 6.116 The projected child yield of the development is 327 children, which means there is a requirement for 3,273sqm of play space to be provided to support the development. The table below shows how the play space requirement would be met. Play space for 0–4 year-olds would be provided within courtyard spaces and adjacent to the new terraced houses. Play space for 5-11 year-olds is proposed as a mixture of formal and informal play throughout the new public realm. Play space for older children (12+) is available within the Lordship Recreation Ground, which is within a short walk of the application site.

<i>Age Range</i>	<i>Play Space Requirement</i>	<i>On-site Provision</i>
0-4	1,271 sqm	3,520 sqm
5-11	1,066 sqm	1,550 sqm
12+	936 sqm	6,600 sqm (available off-site)



6.117 The proposed development provides a cross-generational play strategy that complements the existing play infrastructure on the existing Estate and meets the policy requirements for children's play space on or in close proximity of the estate.

Access and Security

6.118 London Plan Policy D5 requires all new development to achieve the highest standard of accessible and inclusive design, seeking to ensure new development can be used easily and with dignity by all. London Plan Policy D7 requires that 10% of new housing is wheelchair accessible and that the remaining 90% is easily adaptable for residents who are wheelchair users. DPD Policy DM2 also requires new developments to be designed so that they can be used safely, easily and with dignity by all.

6.119 30 homes (10.2%) would meet the required wheelchair user dwelling standards as laid out within Building Regulations requirement M4(3), which exceeds the 10% policy target. Four of these wheelchair user homes would be larger three-bedroom properties. The wheelchair user homes are evenly distributed throughout the proposed development and would be located close to the 'Blue Badge' parking spaces. The wheelchair user homes on upper floors would be accessible via building cores with two lifts.

6.120 The development would significantly improve safety and security on the estate by replacing the car-dominated undercroft areas with active residential frontages and commercial/community spaces. New communal entrances would be light and welcoming with direct access from the estate's main streets. The communal residential lobbies have been designed to meet contemporary accessibility and security standards and would be visually attractive spaces finished in robust materials.

6.121 The new courtyards would be closed off outside of daylight hours, with fob access for residents only after this time. The exact management arrangements would be secured by condition. The Designing Out Crime Officer of the Metropolitan Police has been

consulted throughout the design process of this proposal. Reinforcing Willan Road and Adams Road as key routes through the site, relocating the Memorial Garden to the centre of the estate and providing access controls for the residential courtyards are all initiatives that are supported by the Designing Out Crime Officer. The Council's Community Safety team also raise no objection to the proposals.

Outlook, Privacy and Day/Sunlight

- 6.122 The new homes would all be dual aspect at a minimum which enables light to permeate into the dwellings for large parts of the day throughout the entire year. 88% of habitable rooms would meet the BRE's guidance for daylight, which is a very good result for an urban environment. Sunlight levels are lower with 59% of all living rooms meeting the annual sunlight targets. This is a good level for an urban area, and this result is affected by 66 (23%) of all living rooms receiving reduced light due to their orientation within ninety-degrees of due north. All properties would have access to an appropriately sized amenity space and a range of public open spaces which will receive good levels of light throughout the year.
- 6.123 The separation distances between the proposed and existing buildings are similar to those on the existing Estate. These distances are significant enough to ensure that the new homes would benefit from good levels of privacy and outlook.

Air Quality and Noise

- 6.124 Air pollution levels at this site are predicted to be below statistically significant levels which makes the site suitable for residential accommodation. Modelling of the energy centre boiler outputs shows that any impact from the low-emissions boilers would be negligible. There are no significant noise-creating uses in the vicinity that would adversely impact on the amenity of future residents in this regard.
- 6.125 As such, the residential quality of the proposed development is of a very high quality and in accordance with the policies referenced above and is therefore acceptable.

Wind Microclimate Impact

- 6.126 A computer modelling analysis has been undertaken and presented within a *Wind and Microclimate Assessment* document submitted with the application. Five (12.5%) of the 40 locations tested showed minor adverse effects and only two (5%) showed moderate adverse effects. The sites where wind impacts were noted were located in higher altitude areas, for example upper floor balconies, where higher wind speeds would usually be expected. Entrances to buildings would not be significantly affected by wind according to the submitted document.
- 6.127 As such, the low level of minor or moderate adverse impacts shown in the submitted document are considered not to be material and would be within acceptable levels of tolerance.

Maintenance

- 6.128 It is anticipated that most windows would be cleaned internally by residents and windows have been designed to open inwards to accommodate this approach. Communal area windows and building facades would be accessed and maintained by the Council via mobile elevated work platforms.

Impact on Neighbouring Amenity

- 6.129 London Plan Policy D6 outlines that design must not be detrimental to the amenity of surrounding housing, in specific stating that proposals should provide sufficient daylight and sunlight to surrounding housing that is appropriate for its context, while also minimising overshadowing. London Plan Policy D14 requires development proposals to reduce, manage and mitigate noise impacts.
- 6.130 Policy DM1 of the Development Management DPD states that development proposals must ensure a high standard of privacy and amenity for a development's users and neighbours. Specifically, proposals are required to provide appropriate sunlight, daylight and aspects to adjacent buildings and land, and to avoid material levels of overlooking and loss of privacy and detriment to amenity of neighbouring residents.

Day and Sunlight Impact

- 6.131 The BRE guidelines for day/sunlight in proposed developments was updated in June 2022. On the date this application was submitted the former BRE guidelines from 2011 were still relevant. The *Daylight and Sunlight Report* submitted with the application has modelled the development against the 2011 guidelines. Although these have now been replaced it is considered that they still provide an appropriate guide against which to assess levels of residential amenity in new residential development in accordance with adopted policy.
- 6.132 Debden, Hawkinge, Lympne, Manston, Martlesham, Rochford and Stapleford buildings are within the vicinity of the proposed development and as such only these buildings have been assessed for the day and sunlight impact on them. The potential impact on the homes at 25-30 Willan Road has also been assessed.
- 6.133 In terms of daylight impact the analysis undertaken shows that most buildings would not be significantly affected by the proposed development. The majority (71%) of the windows tested (667) across all buildings referenced above would not experience a noticeable change in daylight according to the BRE guidance. For a further 21% of those windows assessed there would be a noticeable change in daylight conditions, but the degree of loss of daylight is not considered to be significant, i.e. there would be a less than 40% reduction in daylight conditions. As such, only 49 windows (7%) would experience a significant noticeable change in daylight conditions. This would affect homes in Debden, Rochford and Stapleford buildings only.
- 6.134 The analysis notes that where there is a significant reduction in daylight to the windows in Debden and Stapleford buildings, they would still retain a minimum of 16% vertical sky component (VSC) in absolute terms (compared to a 27% target) which is considered a good level of daylight for an urban area. Eight windows on Rochford block would have significant reductions in daylight to a level below 6% VSC. However, it is notable in the case of all these windows that they each currently experience highly restricted levels of daylight (less than 10% VSC) and thus again the reduction in absolute terms is not considered to be excessive.
- 6.135 In terms of sunlight, the analysis undertaken shows that the vast majority (92%) of the windows tested (355) across all buildings referenced above would receive acceptable levels of sunlight according to the BRE guidance. All other windows are not expected to experience noticeable levels of change.

Privacy and Outlook Impact

- 6.136 The rear elevations of the new townhouses would be at least 20 metres from the rear walls of existing houses both within and surrounding the estate. Distances between the homes within the replacement Tangmere building and the existing flats within the nearby Debden and Hawkinge blocks would also be at least 20 metres. Distances between the homes within the replacement Northolt building and the existing flats within the nearby Martlesham and Rochford blocks would be marginally less at a minimum of 19 metres. These separation distances are very good for an urban environment.
- 6.137 In some areas of the site the separation distances are lower than stated above. The distances between the proposed building on the former Moselle School site and the existing homes on Moira Close is a minimum of 14 metres. There is also one property within 7 metres of the proposed development in this part of the site. However, in those cases that the existing homes are oriented at a ninety-degree angle to the new building on the former Moselle School site and there are no habitable room windows within the side elevations of those existing homes. Furthermore, garden areas for the homes on Moira Close are communal open areas and not private gardens so already have a low level of privacy.
- 6.138 Main habitable rooms for most flats in the new building on the former Moselle School site would be located on either the western or southern sides to minimise overlooking towards the school. The three-bedroom flats on the southern side of the courtyard could overlook the play area from their amenity areas. This is a very small number of family units in the context of the overall development. A condition would be included to ensure that appropriate screening features would be included as appropriate to the northern sides of these amenity spaces and also to the western side of the amenity areas for the westernmost terraced house on the northern side of the same building, to ensure that overlooking towards the school is minimised.
- 6.139 There is no direct overlooking between the replacement Northolt building and the existing Lympe block as the buildings are oriented at an angle to one another. The new Northolt building would be 13 metres away from the retained Stapleford block and, whilst this is a lower separation distance than between many other buildings on the estate, it is not considered to be unacceptable for an urban environment. The development has also been designed to minimise the number of main habitable rooms on the southern side of the building to ensure that overlooking is not excessive.
- 6.140 As such, it is considered that the outlook and privacy impacts on existing residents would not be significant.

Wind Microclimate Impact

- 6.141 A computer modelling analysis has been undertaken and presented within a Wind and Microclimate Assessment document submitted with the application. The document shows the development would have a limited impact on local wind conditions within existing public realm areas. The majority of locations assessed around and within the site at ground level show that the development would have either a negligible or beneficial impact on the existing wind conditions. Planting such as trees around seating areas would also help to mitigate wind effects and increase comfort conditions.

Air Quality, Noise and Light

- 6.142 Policy DM23 states that developments should not have a detrimental impact on air quality, noise or light pollution. Policy SI1 of the London Plan states that development proposals should not lead to a deterioration of local air quality.
- 6.143 The *Air Quality Assessment* submitted with this application confirms that the impact of the proposed new boilers and the anticipated small increase in the number of vehicle trips from the additional homes on site would have a negligible impact on local air quality.
- 6.144 The additional 52 homes on the estate would not create a significant amount of new noise in the local environment. The proposed non-residential uses would not be particularly noise-creating and would therefore be suitable for a predominantly residential environment. Noise and fumes from extraction and other plant equipment associated with non-residential uses would be controlled by condition.
- 6.145 The development would incorporate new artificial lighting into key areas, including the new diagonal route and civic squares, to improve safety and security for residents and visitors. This lighting would be sensitively designed to maximise safety whilst minimising unnecessary light spill. This matter can be adequately controlled by condition.
- 6.146 As such, the air quality, noise levels and artificial light impact on neighbouring properties would not be significant.

Construction Impact

- 6.147 The demolition and construction works required to enable this development proposal would result in some dust and particulate matter, noise and other temporary disturbances. These processes are typically controlled by non-planning legislation. It is possible to manage these disturbances through good practice and through the implementation of suitable mitigation measures. The demolition and construction methodology for the development would be controlled by condition to minimise its impact on existing residential properties and non-residential activities.
- 6.148 As such, it is considered that the impact of the proposed development on the amenity of neighbouring properties and other activities on the estate is acceptable.

Parking and Transport

- 6.149 London Plan 2021 Policy T1 requires all development to make the most effective use of land, reflecting its connectivity and accessibility by existing and future public transport, walking and cycling routes, and to ensure that any impacts on London's transport networks and supporting infrastructure are mitigated. Policies T4, T5 and T6 of the same document set out key principles for the assessment of development impacts on the highway network in terms of trip generation, parking demand and cycling provision.
- 6.150 Local Plan Policy SP7 states that the Council aims to tackle climate change, improve local place shaping and public realm, and environmental and transport quality and safety by promoting public transport, walking and cycling. This is supported by DPD Policy DM31.

- 6.151 The PTAL of the estate is between 1b and 2. The site is located within the Bruce Grove West Controlled Parking Zone (CPZ). However, it is understood that parking is not currently actively controlled on streets within the estate.
- 6.152 A *Transport Assessment* and a *Parking Design and Management Plan* have been submitted with the application. The Council's Transportation Officer and Transport for London (TfL) have provided comments on the proposed development.

Background

- 6.153 There is currently a significant oversupply of car parking across the estate, including within undercroft areas and on streets throughout public realm areas. This car dominance has led to a perceived lack of safety and security on the estate through car-dominated and inactive streets in many areas, as well as perpetuating a low-quality pedestrian environment by cluttering key routes. The proposed redevelopment works would substantially improve the safety of the pedestrian environment by removing car parking where possible and replacing it with active residential and commercial street frontages and new landscaping.
- 6.154 The development would re-introduce parking controls to ensure that car parking within the estate prioritises the existing and proposed residents. Underutilised areas of parking within the application site would be redeveloped and replacement parking would be provided in a more efficient manner in accordance with anticipated parking demand from residents.
- 6.155 Parking throughout the estate is currently controlled by the Council, which requires estate residents to display a valid permit as well as meeting other conditions. It is expected that, in order to ensure these management arrangements are followed and the reduced number of parking spaces on the estate are occupied efficiently, the existing CPZ will be re-instated for public streets. For private streets, these would be managed by the Council on similar lines to the CPZ. Parking permits would be allocated to residents, visitors and essential services on request.
- 6.156 There are currently 225 parking spaces within the application site boundary. 91 of these spaces would be retained as part of this development proposal. 3% 'Blue Badge' parking spaces would be provided on first occupation of the development and, if there is demand for these spaces from wheelchair users, additional spaces could be converted in the future. 660 cycle parking spaces would also be provided as part of this proposal.

Assessment

Site Access and Road Layout

- 6.157 The main vehicle and pedestrian access points to the estate would remain as existing. New internal streets are proposed and these would provide improved connectivity within and through the site. Their design is intended to provide improved legibility and accessibility for pedestrians and cyclists as well as providing suitable space for vehicle movements including buses. They would integrate appropriately with the wider Urban Design Framework for the estate.

- 6.158 Parts of the public highway must be 'stopped up' for the development to be built and sections of land must be adopted as highway to straighten up the current highway layout. These matters would be secured through legal agreement.
- 6.159 The Transportation Officer and Transport for London have raised no objections to these new road layouts. Details of the new junctions within the estate must be reviewed through Road Safety Audits which can be secured by condition.
- 6.160 The application would provide a financial contribution towards the feasibility and design of local cycle infrastructure as potential improvements near to the site have been identified in the Council's Walking and Cycling Action Plan. A further contribution would be secured towards reducing accidents at local road junctions.

Trip Generation

- 6.161 The existing, proposed and net residential trip generations have been reviewed by the Council's Transportation Officer and found to be acceptable. The non-residential land uses would have a local catchment and therefore generate local visits undertaken primarily by active travel modes such as walking and cycling.
- 6.162 There would be an additional ten delivery and servicing vehicles per day compared to the existing situation and this additional demand would be easily absorbed by the local highway network.

Public Transport

- 6.163 Gloucester Road and Willan Road would be widened to potentially accommodate two-way travel for the W4 bus service in the future. Although there is a slight bottleneck in the available highway width on Willan Road (5.8 metres wide rather than the 6 metre width requested) TfL do not object to the road layout in principle. The widened highway in this area would result in the loss of a small number of on-street parking spaces. These spaces would be re-provided within the parking capacity of the existing estate, as described below. The net impact of the proposed development upon the local public transport networks is predicted to be low due to the relatively small net increase in homes from this proposal.

Car Parking

- 6.164 A parking stress survey was carried out in 2020 across the whole estate which identified that there is significant spare parking capacity both on street (public and private roads alike) and in undercroft parking areas, with a total of 405 available spaces available. A telephone survey of existing residents undertaken in 2021 identified that occupiers of one-bedroom dwellings had a car parking demand ratio of 0.33 spaces per dwelling, whilst dwellings with two or more bedrooms had a car parking demand of 0.89 spaces per dwelling. As such, the estimated total car parking demand of the proposed 294 dwellings would be 217 spaces.
- 6.165 91 of the anticipated 217 spaces required for this development would be provided within the application site boundary. The remaining 126 spaces would be accommodated in other parts of the estate where the results of the parking stress survey indicate that there is ample spare capacity within the existing spare 405 spaces. Parking demand would be kept low through the provision of sustainable

transport methodologies including a parking management plan, travel plans and high-quality cycle parking.

- 6.166 Wheelchair-accessible car parking would be provided in line with the London Plan standards, namely for 3% of dwellings from the outset (9 spaces). Provision for up to an additional 7% of dwellings (21 spaces) would be provided as and when required based on demand, by converting other spaces either within the application site or the wider estate. There is more than sufficient capacity to afford a further loss of parking spaces as a result of such conversions.
- 6.167 In accordance with London Plan requirements active electric vehicle charging infrastructure would be provided for 20% of spaces from the outset, whilst the remainder would be fitted with passive infrastructure. This would be secured by condition.

Cycle Parking

- 6.168 Cycle parking would be provided in the form of 660 cycle parking spaces which is in line with the London Plan minimum cycle parking standards and in accordance with the London Cycling Design Standards. A minimum of 5% of all long-stay cycle parking would be in the form of stands for larger cycles. 14% of all long-stay spaces would be in the form of regular 'Sheffield' stands. The remainder would consist of two-tier racks (44%) and spaces in dwellings (37%). Spaces have been provided within the new homes in response to feedback from residents and concerns about security within shared cycle stores and public areas within the estate. This arrangement has the additional benefit of freeing up space at ground floor level to provide a greater proportion of active frontages and the perception of safety on the estate. At least one lift per residential core would be large enough to fit a cycle within it.
- 6.169 The proposed non-residential cycle parking has also been designed to meet London Plan standards and exceeds the minimum requirements. The detailed design of the long-stay and short-stay cycle parking and access arrangements would be secured by planning condition. This would involve the provision of full details showing the parking systems to be used, access to them, the layout and space around the cycle parking spaces with all dimensions marked up on plans.

Deliveries and Servicing

- 6.170 Delivery and servicing activity would continue to be provided on the streets within the estate. Two dedicated loading bays would be provided, one on each of Willan Road and Adams Road. Swept path analysis shows that a 10-metre rigid vehicle, a waste collection vehicle and a fire tender vehicle would be able to adequately manoeuvre within the internal streets and would benefit from appropriate visibility at road junctions and bends. The Council's Waste Management Officer has raised no objections to the delivery arrangements as proposed.

Construction Traffic

- 6.171 The Transport Assessment submitted with the application includes a draft construction logistics plan. There would be a peak level of 25-40 deliveries a day to the site. Construction vehicles would access the site via a one-way system from Lordship Lane to the north, with some traffic using The Avenue, and exiting the site from the south via Gloucester Road. This would be compatible with the low traffic neighbourhood that is

to be installed in the area soon. Secure gates will be installed to construction compounds and wheel-washing facilities used to ensure a clean neighbourhood. A vehicle booking system would be used to ensure deliveries are effectively managed. The exact details of the construction methodology and programme would be secured through a condition.

Summary

- 6.172 There is ample parking capacity within the estate to accommodate any potential overspill parking demand from this development, the low number of additional trips expected from the development would be accommodated on the local road network, and the development would be supported by the provision of high-quality cycle parking that would meet the requirements of the London Plan. The Council's Transportation Officer and Transport for London have assessed this application and raise no objections subject to conditions and planning obligations.
- 6.173 As such, it is considered that the application is acceptable in transport and parking terms, and in terms of its impact on the public highway.

Open Space, Trees and Urban Greening

Open Space

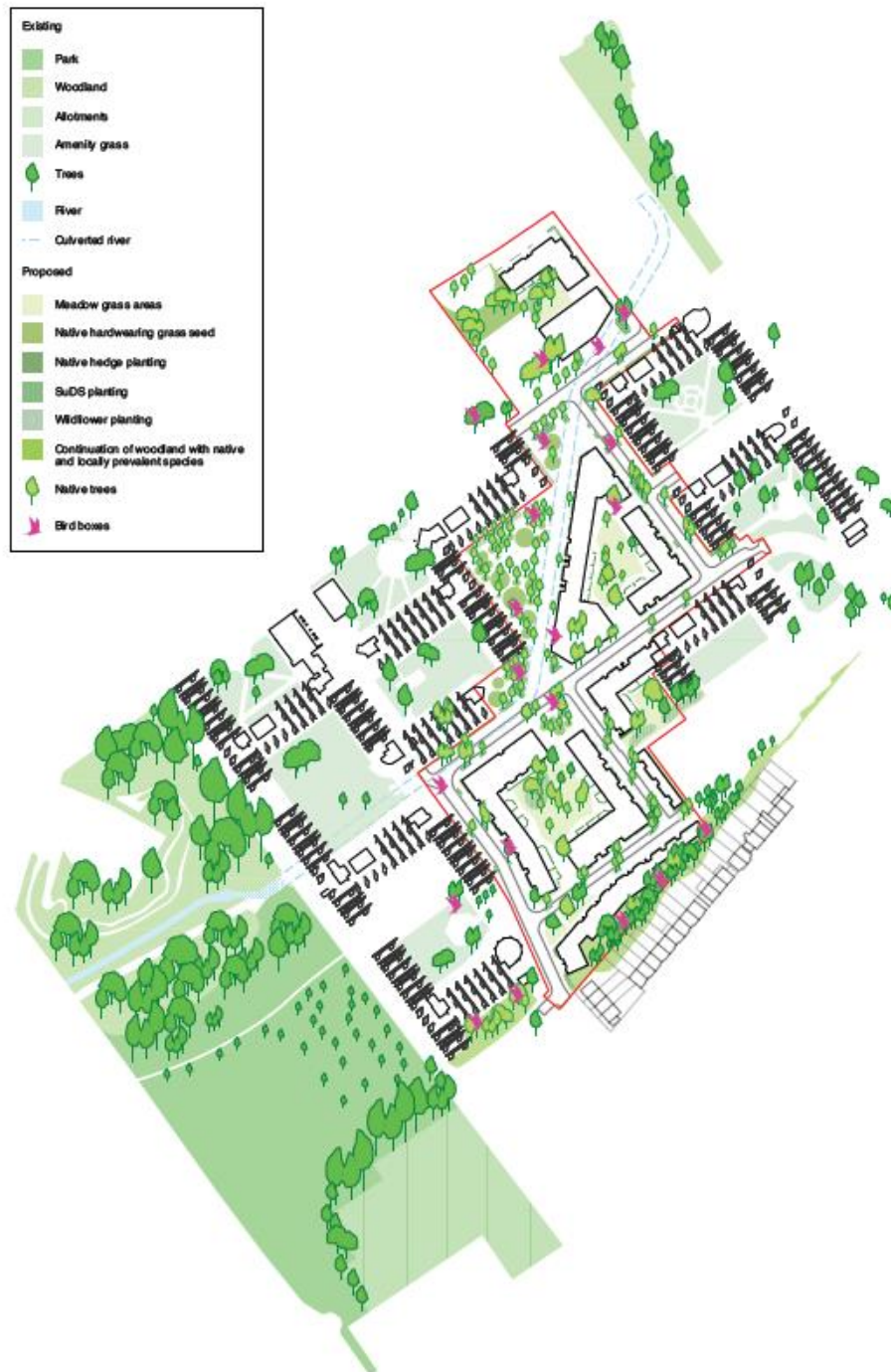
- 6.174 Policy G4 of the London Plan states that there should be no loss of open space and where possible new areas of public open space should be created. Policy DM20 of the Development Management DPD states that development that protects and enhances open spaces will be supported. It also states that the reconfiguration of open space will be supported where it is part of a comprehensive scheme, where there is no net loss of open space, where it would achieve enhancements to address deficiencies in the capacity, quality and accessibility of the open space, where it would secure a viable future for the open space, and where its environmental function would not be compromised.
- 6.175 The proposals would increase the amount of open and green space within the application site boundary by reconfiguring the layout of built form within it. The amenity space within the existing Memorial Gardens, which is an underused and poorly overlooked area to the south of the existing Tangmere block, would be relocated into the centre of the site which enables greater public use. Other open space areas, including the civic squares and shared internal courtyards, would form part of a wider range of public realm improvements on the site which have been designed to significantly increase public access and activity within public areas within the estate.
- 6.176 In terms of open space quantum, there is a net increase in open and green space within the estate as part of this proposal, from an existing 9,715sqm to the proposed 12,404sqm; an overall increase of 2,689sqm (a 28% increase), excluding pedestrian pathways.



Trees

- 6.177 London Plan Policy G7 requires existing trees of value to be retained, and any removal to be compensated by adequate replacements. This policy further sets out that planting of new trees, especially those with large canopies, should be included within development proposals.
- 6.178 DPD Policy DM1 requires proposals to demonstrate how landscaping and planting are integrated into a development, whilst responding to trees on and close to the site.

6.179 There are no trees within or adjacent to the site that are subject to formal protection through a tree preservation order. Trees within and adjacent to the site have been surveyed and of these trees only one was attributed to have Category A status. This tree is located to the north of Lympne block and would not be affected by the development proposals. As many trees as possible would be retained through the development process and trees close to the new buildings would be suitably protected. The existing woodland areas to the south of the site would also be protected. A substantial number of new trees would be planted throughout the proposed development. Any trees lost would be replaced with new trees at a ratio of at least 3.5 new trees for every single tree lost. Over 200 new trees would be provided with a range of native species to be planted.



- 6.180 The Council's Tree Officer has confirmed that this approach is acceptable subject to conditions that ensures both the protection of trees to be retained and ensures that new tree planting would replace the existing tree canopy cover on site.

Urban Greening Factor

- 6.181 Policy G5 of the London Plan 2021 requires major development proposals to contribute to the greening of London by including urban greening as a fundamental element of site and building design. Predominantly residential development should have an urban greening factor of 0.4.
- 6.182 Local Plan Policy SP11 promotes high quality landscaping on and off-site and Policy SP13 seeks to protect and improve open space.
- 6.183 DPD Policy DM1 requires proposals to demonstrate how landscape and planting are integrated into the development and expects development proposals to respond to trees on or close to a site.
- 6.184 As described above the proposed development would increase the amount of open and green space on site through the provision of a large central park and publicly accessible courtyards. These spaces would be heavily planted which increases the amount of greenery within the site area. The proposed street layout would also include significant areas of tree planting and other amenity vegetation. Green roofs, flower planting and permeable paving would further increase the urban greening factor for the development to a level of 0.4, which is compliant with policy as described above. This urban greening level would be secured by condition.
- 6.185 The sunlight amenity analysis undertaken with the Daylight, Sunlight and Overshadowing Report also shows that the level of sunlight to all amenity spaces would either meet or come very close to the target values as set by the BRE. 83% of the amenity space would have at least two hours of sunlight on the date on March 21st (as required by the guidance), which is significantly above the 50% target. Therefore, the amenity areas would have a very good sunlight quality overall.
- 6.186 As such, the development would provide substantial improvements to the soft landscaping on-site and an acceptable level of urban greening. The details of this landscaping provision can be secured by condition to secure a high-quality scheme with effective long-term management.



Ecology and Biodiversity

- 6.187 Policy G6 of the London Plan 2021 states that developments should aim to secure biodiversity net gain. Policy SP13 seeks to protect and improve open space and providing opportunities for biodiversity and nature conservation. Policy DM21 expects proposals to maximise opportunities to enhance biodiversity on-site.
- 6.188 The existing site is mostly covered by buildings, hardstanding and lawn areas of low biodiversity value. This would be replaced by a wider range and area of landscaping which has been designed to maximise areas of biodiversity. Bat and bird boxes would be installed. Green roofs are proposed and planting would be of native species where appropriate. With the planned landscaping proposals the biodiversity levels on-site show a net gain of 128.87%, which is a substantial increase. Natural England has not objected to this application. As such, the biodiversity on the site would increase as the result of the proposed development and this net gain will be secured through condition.

- 6.189 The Preliminary Roost Assessment submitted with the application identified the existing site as having the potential to support bats. Both Tangmere and Northolt buildings showed a low potential to support bats, whilst other buildings and trees on site were noted to have a negligible potential to support bats. Further surveys to Tangmere and Northolt showed no evidence of bats. Sensitive lighting and native planting would be provided to enhance the local environment for bats. These measures can be secured by condition.
- 6.190 It is understood that peregrine falcons have been observed on site. These birds are a protected species. The applicant has taken advice from an ecologist on this matter. Further survey work to assess the location of the birds' nests must occur before demolition of any buildings on site. This survey work must also take place during the bird nesting season (March to August). These surveys and their timing prior to demolition can be secured by condition and any remedial measures also secured following these surveys.
- 6.191 Subject to these conditions the application is acceptable in terms of its impact on trees, ecology and biodiversity, and its provision of urban greening.

Carbon Reduction and Sustainability

- 6.192 The NPPF requires development to contribute to the transition to a low carbon future, reduce energy consumption and contribute to and conserve the natural environment.
- 6.193 London Plan Policy SI2 states that major developments should be zero carbon, and in meeting the zero-carbon target a minimum on-site reduction of at least 35 per cent beyond Building Regulations is expected. Local Plan Policy SP4 requires all new developments to introduce measures that reduce energy use and carbon emissions. Local Plan Policy SP11 requires all development to adopt sustainable design and construction techniques to minimise impacts on climate change and natural resources.
- 6.194 DPD Policy DM1 states that the Council will support design-led proposals that incorporate sustainable design and construction principles and Policy DM21 expects new development to consider and implement sustainable design, layout and construction techniques.
- 6.195 The proposed development has sought to adopt a progressive approach in relation to sustainability and energy to ensure that the most viable and effective solution is delivered to minimise carbon emissions.

Carbon Reduction

- 6.196 Policy SP4 of the Local Plan Strategic Policies, requires all new development to be zero carbon. The London Plan 2021 further confirms this in Policy SI2. The applicant has submitted an *Energy Statement* with the application.

Reduced Energy Use (Be Lean)

- 6.197 The buildings would adopt a series of passive and active design measures to use less energy including high performance glazing, heat recovery ventilation methodologies, high building air-tightness, high levels of natural lighting and use of low-energy lighting where needed.

Efficient Energy Supply (Be Clean)

- 6.198 The development may connect to a district heating network. However, details of the undertaking of this network are not yet known. As a temporary measure until further details of the district heating network are fully understood, the residential part of the development would be served by a heat network incorporating low-carbon heat generation through the installation of air source heat pumps and high-efficiency gas boilers. The energy generated by this site-wide network would provide low carbon energy to other parts of the estate. The commercial units would be served by standalone air source heat pumps. This scenario allows low carbon heat generation to be maximised whilst allowing maximum flexibility for the development to connect to the district heat network once this becomes available.

Use of Renewable Energy (Be Green)

- 6.199 As mentioned above the development would be served by air source heat pumps. In addition, renewable energy would be provided through photovoltaic panels.

Summary

- 6.200 Overall, the carbon savings from the proposed development as provided through the methodologies above would represent a 65.4% improvement on the carbon baseline (2013 Building Regulations) for both the residential and non-residential uses. This means that the maximum carbon contribution would be 4,006.6 tCO₂ for 30 years (£380,000) plus a 10% management fee. Further carbon studies would take place prior to commencement of the development to ascertain the final offset figure.
- 6.201 The development would also incorporate monitoring equipment to reduce energy use and display real-time energy data. This will be secured by condition.

Circular Economy and Whole Life Carbon

- 6.202 The scheme seeks to ensure that material and resource use is minimised as far as possible. Waste would be eliminated where possible and managed in a sustainable way. The development is expected to reduce its whole life carbon significantly by partially using alternative construction materials instead of concrete and through installing aluminium-timber hybrid windows.
- 6.203 *Overheating*
- 6.204 Passive and active overheating measures have been incorporated into the development proposal. Internal heat levels would be minimised through efficient home layouts and maximised ventilation. Some mechanical ventilation would be required. Detailed modelling of overheating would be secured by condition.
- 6.205 *Summary*
- 6.206 The proposal satisfies development plan policies and the Council's Climate Change Officer supports this application subject to the conditions. As such, the application is considered acceptable in terms of its sustainability.

Waterways and Flood Risk

6.207 Policy DM28 of the Development Management DPD states that new development must be set back from any nearby watercourse at a distance as agreed with the Environment Agency. It also states that major developments must investigate the potential for de-culverting of the watercourse where possible. Local Plan Policy SP5 and Policy DM24 of the Development Management DPD seek to ensure that new development reduces the risk of flooding and provides suitable measures for drainage. Policy DM26 states that new development within Critical Drainage Areas will be required to incorporate measures to reduce overall flood risk.

Moselle Brook

6.208 The Moselle Brook (part of the London-wide Blue Ribbon network) runs in a culvert below the application site. It runs from east to west under the existing enterprise centre, energy centre and Northolt block. The culvert has been surveyed and is in a reasonable condition. The Design and Access Statement has considered the possibility of de-culverting this watercourse in line with Policy DM28. The water quality within the river is considered to be poor and could bring a health and safety risk to residents in the estate. De-culverting the river either as an open channel or partially naturalised would significantly reduce the quality and quantum of public open space within the development area and would reduce the width and directness of the new pedestrian and cycle route through the estate. There is also a risk of anti-social behaviour, whilst the additional safety measures associated with an open waterway within the estate would prove expensive to achieve and maintain.

6.209 The development proposal would instead leave the area above the culvert undeveloped to allow it to be de-culverted if there was wider community support for this option in the future. The presence of an underground waterway below the surface of the new diagonal route would be identifiable through surface level water features and grilles. The Urban Design Framework submitted with the application has also shown that a de-culverted river could potentially be provided along Brookside, to the north-west of the application site, where its siting would not compromise site connectivity or levels of open space. The Environment Agency has not objected to this development proposal subject to conditions that secure appropriate surveys of the culvert both before and after development works.

Flooding and Drainage

6.210 A Flood Risk Assessment (FRA) has been submitted with the application. This document notes that site is located within Flood Zone 1 which has the lowest risk of flooding. Flood risk at the site is generally low though there is a higher risk of surface water flooding in some areas. The development is supported by a comprehensive sustainable drainage strategy which includes a range of methods to reduce surface water at the site and slow down movement to reduce the associated flood risk, including providing significant amounts of new soft landscaping (including rain gardens and green roofs), comprehensive use of permeable paving and the installation of below ground water attenuation tanks. The Council's Flood and Water Management team has raised no objection to these proposals. Final details of the site drainage systems and how surface water run-off rates would be maximised would be secured by condition.

6.211 Thames Water have raised no objections to the development subject to conditions.

- 6.212 Therefore, the development is acceptable in terms of its impact and response to the culverted waterway and its reduction in flood risk at the site.

Land Contamination

- 6.213 DPD Policy DM23 requires proposals to demonstrate that any risks associated with land contamination can be adequately addressed to make the development safe.
- 6.214 A Ground Conditions Report has been submitted with this application. The report states that there are no significant risks of contamination at the site. Soil sampling has identified limited concentrations of metals and hydrocarbons but the new development would appropriately mitigate against these contaminants. The Council's Pollution Officer has reviewed the submitted documentation and has raised no objections to the proposal in terms of its land contamination risk, subject to conditions.
- 6.215 Therefore, the application is considered acceptable in terms of its land contamination risks.

Fire Safety

- 6.216 In 2021 the Government introduced Planning Gateway One (PG1) for all 'relevant' developments i.e. those that contain two or more dwellings and which are 18 metres (or seven storeys) or greater in height. PG1 requires a fire statement to be submitted with planning applications for these relevant developments and also establishes the Health and Safety Executive as a statutory consultee for relevant development.
- 6.217 The Government has also recently announced, via the publication of a circular letter, that the provision of a single stair core may not be suitable in 'very tall' residential buildings, and that robust fire safety provisions are put in place, and a detailed fire engineering analysis undertaken, in the case of buildings with non-standard conditions, which would include very tall buildings with a single stair.
- 6.218 Policy D12 of the London Plan states that all development proposals must achieve the highest standards of fire safety. To this effect major development proposals must be supported by a fire statement.
- 6.219 An Outline Fire Strategy Report and a Fire Statement were submitted with the application. The Outline Fire Strategy states that the development would meet fire safety requirements of Building Regulations Approved Document B. Sprinklers would be provided throughout the development including in residential areas and in some non-residential areas. All units would be located close to fire hydrants, some of which would be newly installed.
- 6.220 The Health and Safety Executive have been consulted on this application and their comments are expected soon.
- 6.221 Further details on fire safety would be developed as the design of the building progresses. It is considered that the buildings proposed within this development proposal do not fall within the definition of 'very tall' for the purposes of this circular (and Building Regulations more generally). Nevertheless, a detailed fire statement including any appropriate fire engineering analysis would be secured by condition which would ensure compliance with the London Plan. The Health and Safety Executive have commented on this application raising some concerns and discussions

are ongoing on this matter. The applicant will respond to their latest comments in due course.

6.222 As such, the application is acceptable in respect of its fire safety.

Equalities

6.223 In determining this application, the Council is required to have regard to its obligations under Section 149 of the Equality Act 2010. Under the Act, a public authority must, in the exercise of its functions, have due regard to the need to:

- eliminate discrimination, harassment and victimisation and any other conduct that is prohibited by or under this Act
- advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it
- foster good relations between persons who share a relevant protected characteristic and persons who do not share it

6.224 The three parts of the duty apply to the following protected characteristics: age, disability, gender reassignment, pregnancy/maternity, race, religion/faith, sex and sexual orientation. Marriage and civil partnership status applies to the first part of the duty. Members must have regard to these duties in taking a decision on this application.

6.225 Although it is not enforced in legislation as a protected characteristic, Haringey Council treats socioeconomic status as a local protected characteristic. Regard must be had to these duties in taking a decision on this application.

6.226 The development has been submitted following a ballot of eligible residents on the estate. The result was announced on 8th March 2022. On a turnout of 55% of eligible voters, 85% supported the proposal.

6.227 An *Equality Impact Assessment* (EqIA) has been provided with this application. The EqIA identifies that a range of both positive, negative and neutral impacts would be experienced by those with protected characteristics on the estate. The proposed development is anticipated to lead to positive equalities impacts by advancing equality of opportunity through a fairer, more equal estate with more opportunities, better housing, improved public, green and open spaces and a safer environment for residents and visitors. Where negative impacts have been identified these can be appropriate mitigated to ensure that disproportionate impacts are either avoided or minimised.

6.228 To summarise, the EqIA anticipates that the overall equalities impact of the proposal would be positive. Officers concur with the findings of the EqIA and therefore it is considered that the development can be supported from an equalities standpoint.

Conclusion

6.229 The development would deliver much-needed new homes for Council rent, including a large proportion of family homes, and would replace buildings where demolition is urgently required for safety reasons..

- 6.230 The development would provide a 'right to return' for existing residents and a 'fair deal' for leaseholders and follows the aims and objectives of the Mayor of London's Good Practice Guide to Estate Regeneration.
- 6.231 The development would deliver on the aspirations of Site Allocation SA61 by providing improvements to the quality of homes within the Broadwater Farm Estate, and by providing improvements to the overall design and pedestrian/cycle connectivity within and through the Estate. The provision of an Urban Design Framework ensures that the development would meet the masterplanning requirements of SA61.
- 6.232 The development would re-provide existing non-residential uses, including new retail facilities to support the existing and new residential community, and would provide new local employment opportunities..
- 6.233 The development would be of a high-quality design which responds appropriately to the local context and which has been designed through consultation with the local community. The development is supported by the Council's Quality Review Panel.
- 6.234 The development would provide high-quality residential accommodation of an appropriate size and mix within an enhanced public realm environment including new streets and a new park in the heart of the estate. The increased public activity and natural surveillance would significantly improve safety and security on the estate.
- 6.235 The development has been designed to avoid any material adverse impacts on the amenity of nearby residential occupiers in terms of loss of sunlight and daylight, outlook or privacy, excessive noise, light or air pollution. There would also be no negative impact on the local wind microclimate.
- 6.236 The development would provide 91 car parking spaces within the site and additional parking spaces would be available within the wider estate, this is sufficient to support the parking requirements of residents within the new homes.
- 6.237 The proposal includes car parking for occupiers of the proposed 10% wheelchair accessible dwellings and high quality cycle parking.
- 6.238 The development has been designed to achieve a significant reduction in carbon emissions, would improve the sustainability of the wider estate and would connect to the district heating network if a connection becomes available in the future. The development would achieve a suitable urban greening factor and substantial improvements in biodiversity whilst also protecting and enhancing local ecology.
- 6.239 All other relevant policies and considerations, including equalities, have been taken into account. Planning permission should be granted for the reasons set out above. The details of the decision are set out in the RECOMMENDATION

7. COMMUNITY INFRASTRUCTURE LEVY

- 7.1.1 As an application for 100% Council Rented housing the development is not liable to pay the community infrastructure levy (CIL) for these homes (once social housing relief has been sought and approved prior to commencement of the development).
- 7.1.2 In respect of the proposed non-residential development, Haringey charges CIL for supermarkets only (i.e. the retail unit). The Mayor of London charges CIL for all non-

residential development that is neither education nor healthcare related (i.e. the retail unit and enterprise centre). As such, based on the information provided with the application the Mayoral CIL charge will be £61,325.76 (1,016sqm x £60.36) and the Haringey CIL charge will be £50,280.57 (381sqm x £131.97).

- 7.1.3 The CIL charge will be collected by Haringey from commencement of the development and could be subject to surcharges for failure to assume liability, for failure to submit a commencement notice and/or for late payment, and subject to indexation in line with the RICS CIL Index. An informative will be attached advising the applicant of this charge.

8. RECOMMENDATION

GRANT PERMISSION subject to conditions in Appendix 1

Registered No. HGY/2022/0823

Appendix 1 – Conditions and Informatives

Conditions

- 1) The development hereby authorised must be begun not later than the expiration of three years from the date of this permission, failing which the permission shall be of no effect.

Reason: This condition is imposed by virtue of Section 91 of the Town and Country Planning Act 1990 and to prevent the accumulation of unimplemented planning permissions.

- 2) The development hereby permitted shall be carried out in material compliance with the following approved plans and specifications:

215-BWF-L-A1-01-001, 002, 003, 004; 215-BWF-L-A2-01-010, 015, 016; 215-BWF-L-A3-01-011, 012, 013, 014, 017, 018; 215-BWF-L-A3-02-014, 031;

474-KCA-MS-00-DR-A-1000, 01-DR-A-1001, 02-DR-A-1002, 03-DR-A-1003, 04-DR-A-1004, 05-DR-A-1005, RF-DR-A-1006;

474-KCA-MS-ZZ-DR-A-2001, 3001, 3002, 3003, 3051, 3052;

474-KCA-NH-00-DR-A-1000, 01-DR-A-1001, 02-DR-A-1002, 03-DR-A-1003, 004-DR-A-1004, 05-DR-A-1005, 06-DR-A-1006, 07-DR-A-1007, 08-DR-A-1008, RF-DR-A-1009;

474-KCA-NH-ZZ-DR-A-2001, 3001, 3002, 3003, 3004, 3005, 3051, 3052;

474-KCA-TH-00-DR-A-1000, 01-DR-A-1001, 02-DR-A-1002, RF-DR-A-1003;

474-KCA-TH-ZZ-DR-A-3001, 3051, 3052;

474-KCA-TM-00-DR-A-1000, 01-DR-A-1001, 02-DR-A-1002, 03-DR-A-1003, 04-DR-A-1004, 05-DR-A-1005, 06-DR-A-1006, 07-DR-A-1007, RF-DR-A-1008;

474-KCA-TM-ZZ-DR-A-2001, 2002, 3001, 3002, 3003, 3004, 3005, 3006, 3051, 3052, 3053, 3054;

474-KCA-XX-00-DR-A-1000, 9081-D, 01-DR-A-1001, 02-DR-A-1002, 03-DR-A-1003, RF-DR-A-1004;

474-KCA-XX-XX-DR-A-0001, 0002, 0010, 0011, 0012, 0013 (Rev. 01), 0014, 0501, 0900, 1510, 1511, 1512, 1512, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1540, 1541, 1542, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1560, 1580, 1581, 1582, 1583, 1590, 1591, 1592, 1593, 1594, 2001, 3001, 4010, 4011, 4012, 9156-D, 9158-D.

Supporting documents also approved:

Statement of Community Involvement, Planning Statement, Operational Waste Management Strategy, Wind and Microclimate Assessment, Utilities Statement, Outline Pictorial Specification for External Materials, Equality Impact Assessment, Air Quality Assessment, Environmental Noise Assessment, Daylight and Sunlight Report, Ground Conditions Report, Outline Delivery and Servicing Plan, Urban Design Framework, Design & Access Statement, Arboricultural Report, Bat Survey Report, Biodiversity Net Gains Assessment, Preliminary Ecological Appraisal,

Landscape and Public Realm Report, Preliminary Roost Assessment, Energy Strategy, Whole Life Carbon Assessment, Sustainability Statement, Circular Economy Statement, Outline Fire Strategy Report, Fire Statement, Flood Risk Assessment, Moselle Culvert Survey, Sustainable Urban Drainage Strategy, Transport Assessment, Parking Design and Management Plan, Framework Travel Plan, Viability Summary.

Reason: In order to avoid doubt and in the interests of good planning.

- 3) Notwithstanding the provisions of the Town & Country Planning (Use Classes) Order 1987, or any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order, the ground floor non-residential units hereby approved shall be used for activities within Use Class E, Use Class F or Sui Generis (energy centre) only and shall not be used for any other purpose unless approval first is obtained to a variation of this condition through the submission of a planning application.

Reason: In order to restrict the use of the premises to those compatible with the surrounding area.

- 4) Notwithstanding the provisions of the Town & Country Planning General Permitted Development Order 2015 or any Order revoking or re-enacting that Order, no roof extensions, rear extensions, means of enclosure (walls/fences), shall be carried out without the grant of planning permission having first been obtained from the Local Planning Authority.

Reason: To safeguard the visual amenities of the area and to prevent overdevelopment of the site by controlling proposed extensions and alterations consistent with Policy D6 of the London Plan 2021 and Policy DM1 of the Development Management DPD 2017.

- 5) Prior to the commencement of above ground works within each development phase, detailed drawings (including sections) for that development phase to a scale of 1:20 to confirm the detailed design and materials of the:
- a) Detailed elevational treatment;
 - b) Detailing of roof and parapet treatment;
 - c) Windows and doors (including plan, elevation and section drawings indicating jamb, head, cill, reveal and surrounds of all external windows and doors at a scale of 1:10), which shall include a recess of at least 115mm;
 - d) Details of entrances and porches which shall include a recess of at least 115mm;
 - e) Details and locations of down pipes, rainwater pipes or foul pipes and all external vents;
 - f) Details of balustrading;
 - g) Facing brickwork: sample panels of proposed brickwork to be used showing the colour, texture, pointing, bond, mortar, and brickwork detailing shall be provided;
 - h) Details of cycle, refuse enclosures and plant room; and
 - i) Any other external materials to be used;

together with a full schedule of the exact product references for all materials shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be carried out solely in accordance with the approved details.

Reason: To safeguard and enhance the visual amenities of the locality in compliance with Policies DM1, DM8 and DM9 of the Development Management Development Plan Document 2017.

- 6) At least 10% of residential units shall be built to Part M4(3) 'wheelchair user dwellings' of the Building Regulations 2013 (as amended) and all remaining residential units shall be built to Part M4(2) 'accessible and adaptable dwellings' of the same Regulations, unless otherwise agreed in writing in advance with the Local Planning Authority.

Reason: To ensure that the proposed development meets the Council's standards for the provision of wheelchair accessible dwellings in accordance with Local Plan 2017 Policy SP2 and London Plan Policy D7.

- 7) The placement of a satellite dish or television antenna on any external surface of the development is precluded, with an exception provided only for a communal solution(s), unless an exception is given in advance in writing by the Local Planning Authority. Details of any communal dish/antenna must be submitted to the Local Planning Authority for its written approval prior to the first occupation of any residential unit within the development hereby approved. The communal dish/antenna solutions provided shall thereafter be retained as installed.

Reason: To protect the visual amenity of the locality in accordance with Policy DM1 of the Development Management Development Plan Document 2017.

- 8) Prior to the first occupation of each building or part of a building or use, a 'Secured by Design' accreditation shall be obtained for such building or part of such building or use and thereafter all features are to be permanently retained. Accreditation must be achieved according to current and relevant Secured by Design guidelines at the time of above grade works of each building or phase of said development. Confirmation of the certification shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interest of creating safer, sustainable communities.

- 9) The commercial aspects of the development must achieve the relevant Secured by Design certification at the final fitting stage, prior to the commencement of business and details shall be submitted to and approved, in writing, by the Local Planning Authority.

Reason: In the interest of creating safer, sustainable communities.

- 10) Prior to first occupation of the development hereby approved details of all external lighting to approved building facades, street furniture, communal and public realm areas shall be submitted to and approved in writing by the Local Planning Authority, in consultation with the Council's Senior Lighting Engineer and Nature Conservation Officer. Such details shall include location, height, type and direction of sources and intensity of illumination, demonstrated through a lux plan. Due regard shall be had to the recommendations of the approved Preliminary Ecological Appraisal and the Bat Survey Report. The agreed lighting scheme shall be installed as approved and retained/maintained as such thereafter.

Reason: To ensure the design, ecological and environmental quality of the development is protected and enhanced and to safeguard residential amenity in accordance with Policies DM1, DM19 and DM23 of the Development Management Development Plan Document 2017.

- 11) (a) At least 12 months prior to occupation of development hereby approved, information shall be submitted for the written approval of the Local Planning Authority, demonstrating that the approved development would be in accordance with the recommendations of the Preliminary Ecological Appraisal hereby approved. Information shall also be submitted for the written approval of the Local Planning Authority showing the outcome of a wildlife survey that investigates the possible location of peregrine falcons and their nests within the application site and which describes and secures appropriate protection and mitigation measures as appropriate. This wildlife survey must be completed during the months of March to April (prior to any potential nesting period) and also prior to the demolition of the Northolt building on site. These details shall also describe how the development provides a biodiversity net gain, and provide plans showing the proposed location of ecological enhancement measures, a sensitive lighting scheme, justification for the location and type of enhancement measures by a qualified ecologist, and how the development will support and protect local wildlife and natural habitats.

(b) Prior to the first occupation of development, photographic evidence and a post-development ecological field survey and impact assessment shall be submitted to and approved by the Local Planning Authority to demonstrate the delivery of the ecological enhancement and protection measures is in accordance with the approved measures.

Development shall accord with the details as approved and measures shall be retained for the lifetime of the development.

Reason: To ensure that the development provides the maximum provision and protection of habitats for biodiversity and the mitigation and adaptation of climate change. In accordance with Policies G1, G5, G6, S11 and S12 of the London Plan (2021) and Policies SP4, SP5, SP11 and SP13 of the Haringey Local Plan (2017).

- 12) Prior to the first occupation of the development hereby approved full details of both hard and soft landscape works shall be submitted to and approved in writing by the Local Planning Authority, and these works shall thereafter be carried out as approved.

Details shall include information regarding, as appropriate:

- a) Proposed finished levels or contours;
- b) Means of enclosure;
- c) Hard surfacing materials including details of tonal contrasts between pedestrian, cycle and vehicle priority areas;
- d) Minor artefacts and structures (e.g. Furniture, play equipment, refuse or other storage units, wayfinding measures, signs etc.)
- e) detailed management and maintenance plans; and

Soft landscape works shall be supported by:

- f) Planting plans including an assessment of existing and proposed trees;
- g) Written specifications (including details of cultivation and other operations associated with plant and/or grass establishment);

- h) Schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate and demonstration a tree canopy net gain in the future;
- i) Confirmation that a qualified arboriculturalist shall monitor the approved tree works during and for a short period after the development works;
- j) Implementation and long-term management programmes (including a five-year irrigation plan for all new trees).

The soft landscaping scheme shall include detailed drawings of:

- k) Existing trees to be retained;
- l) Existing trees which will require thinning, pruning, pollarding or lopping as a result of this consent; and
- m) Any new trees and shrubs, including street trees, to be planted, together with a schedule of species (all existing trees to be removed shall be replaced);
- n) detailed final urban greening factor plan showing that a factor of greater than 0.4 has been achieved.

The approved scheme of planting, seeding or turfing comprised in the approved details of landscaping shall be carried out and implemented in strict accordance with the approved details in the first planting and seeding season following the occupation of the building or the completion of development (whichever is sooner). Any trees or plants, either existing or proposed, which, within a period of five years from the completion of the development die, are removed, become damaged or diseased shall be replaced in the next planting season with a similar size and species. The landscaping scheme, once implemented, is to be retained thereafter.

Reason: In order for the Local Planning Authority to assess the acceptability of any landscaping scheme, thereby ensuring a satisfactory setting for the proposed development in the interests of the visual amenity of the area consistent with Policy DM1 of the Development Management DPD 2017 and Policy SP11 of the Local Plan 2017.

- 13) Noise arising from the use of any plant and associated equipment shall not increase the existing background noise level (LA90 15mins) when measured (LAeq 15mins) 1 metre external from the nearest residential or noise sensitive premises. The mechanical ventilation with heat recovery shall be suitably attenuated to control intrusive noise (not exceeding 25 dB LAeq). Thermal double glazed windows shall achieve a minimum sound insulation of 27dB Rw + Ctr. The applicant shall also ensure that vibration/ structure borne noise derived from the use of any plant or equipment does not cause nuisance within any residential unit or noise sensitive premises.

Reason: To protect residential amenity in accordance with Policy DM1 of the Development Management DPD 2017.

- 14) Prior to the commencement of above ground works for the development hereby approved scaled drawings with details of the location and dimensions of secure and covered cycle parking facilities have been submitted to and approved in writing by the Local Planning Authority. The cycle parking spaces shall be provided in accordance with the London Cycling Design Standards prior to first occupation of the development and shall be retained thereafter for this use only.

Reason: To promote travel by sustainable modes of transport and to comply with the London Plan 2021 minimum cycle parking standards and the London Cycling Design Standards.

- 15) The approved development shall not be occupied until a Delivery and Servicing Plan (DSP) has been submitted to and approved in writing by the Local Planning Authority. The DSP shall be updated in writing and re-submitted to the Local Planning Authority within the first six months of occupation or at 75% occupancy, whichever comes first. The development shall thereafter be implemented in accordance with the approved details and retained as such thereafter.

Reason: To enable safe, clean and efficient deliveries and servicing. In accordance with Policy DM21 of the Development Management DPD 2017.

- 16) Notwithstanding any provisions to the contrary, all of the residential units within the development hereby approved shall be provided for rent at Council social-rent levels within the C3 use class (unless an agreement is reached for their purchase by eligible leaseholders), and for no other tenure or use unless otherwise agreed in writing in advance by the Local Planning Authority.

Reason: To define the scope of this permission in relation to the provision of affordable housing.

- 17) The development hereby approved shall not be occupied until the associated highway works, as set out in the approved plans and details, have been completed.

Reason: To ensure that the development includes accessible parking and does not prejudice the free flow of vehicular and pedestrian traffic or the conditions of highway safety generally.

- 18) All parking spaces shall be provided with electric vehicle charging infrastructure. Details of the charging infrastructure shall be submitted to the Local Planning Authority for its written approval prior to installation. 20% of the spaces shall have 'active' charging points and all remaining spaces shall have 'passive' charging infrastructure. The infrastructure shall be installed in accordance with the approved documentation and retained as such thereafter.

Reason: In order to ensure low carbon and low air quality impact of the development.

- 19) The applicant must ensure that a suitably qualified architect continues to be engaged as the design champion responsible for preparing, overseeing or approving all drawings of external details required for planning conditions through the whole of the construction phase for the development. Any change of project architect from the existing (Karakusevic Carson Architects of Studio 501, 37 Cremer St, London E2 8HD) or provision of a design champion that differs from the project architect, must first be agreed in writing by the Local Planning Authority. The applicant shall not submit any drawings that are relating to details of the exterior design of the development or are pursuant to conditions of the planning permission unless such drawings have first been prepared or overseen and agreed by the project architects.

Reason: In order to retain the design quality of the development in the interest of the visual amenity of the area and consistent with Policy SP11 of the Local Plan 2017.

- 20) Using the information already provided in section 8 (Geo-environmental Recommendations) of the Geotechnical & Geo-environmental Interpretative Report with reference CG/38532 prepared by Card Geotechnics Ltd dated August 2021, the applicant shall undertake before the occupation of the development: All remediation work detailed in the report, with a verification report that the required works have been carried out submitted to, and approved in writing by the Local Planning Authority before the development is occupied.

Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety.

- 21) If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be implemented as approved.

Reasons: To ensure that the development is not put at unacceptable risk from, or adversely affected by, unacceptable levels water pollution from previously unidentified contamination sources at the development site in line with the National Planning Policy Framework.

- 22) The site or Contractor Company shall be registered with the Considerate Constructors Scheme. Proof of registration must be sent to the Local Planning Authority prior to any works being carried out above ground level.

Reason: To safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality.

- 23) Above ground works for the development hereby approved shall not commence until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. The CEMP shall include a Construction Logistics Plan (CLP) and Air Quality and Dust Management Plan (AQDMP), and the following information:

a) i. A construction method statement which identifies the stages and details how works will be undertaken; ii. Details of working hours, which unless otherwise agreed with the Local Planning Authority shall be limited to 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 on Saturdays; iii. Details of plant and machinery to be used during demolition/construction works; iv. Details of an Unexploded Ordnance Survey; v. Details of the waste management strategy; vi. Details of community engagement arrangements; vii. Details of any acoustic hoarding; viii. A temporary drainage strategy and performance specification to control surface water runoff and Pollution Prevention Plan (in accordance with Environment Agency guidance); ix. Details of external lighting; and, x. Details of any other standard environmental management and control measures to be implemented.

b) The CLP will be in accordance with Transport for London's Construction Logistics Plan Guidance (July 2017) and shall provide details on: i. Dust Monitoring and joint working arrangements during the demolition and construction work; ii. Site access

and car parking arrangements; iii. Delivery booking systems; iv. Agreed routes to/from the Plot; v. Timing of deliveries to and removals from the Plot (to avoid peak times, as agreed with Highways Authority, 07.00 to 9.00 and 16.00 to 18.00, where possible); and vi. Travel plans for staff/personnel involved in demolition/construction works to detail the measures to encourage sustainable travel to the Plot during the demolition/construction phase; and vii. Joint arrangements with neighbouring developers for staff parking, Lorry Parking and consolidation of facilities such as concrete batching.

c) The AQDMP will be in accordance with the Greater London Authority SPG Dust and Emissions Control (2014) and shall include: i. Mitigation measures to manage and minimise demolition/construction dust emissions during works; ii. Details confirming the Plot has been registered at <http://nrmm.london>; iii. Evidence of Non-Road Mobile Machinery (NRMM) and plant registration shall be available on site in the event of Local Authority Inspection; iv. An inventory of NRMM currently on site (machinery should be regularly serviced, and service logs kept on site, which includes proof of emission limits for equipment for inspection); v. A Dust Risk Assessment for the works; and vi. Lorry Parking, in joint arrangement where appropriate.

The development shall be carried out in accordance with the approved details as well as in accordance with the approved Air Quality Assessment and/or Air Quality Neutral reports, as appropriate.

Reason: To safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality.

- 24) No development above ground level shall take place until a detailed Surface Water Drainage scheme for site has been submitted and approved in writing by the Local Planning Authority. The detailed drainage scheme should also accompany a detailed drainage plan appropriately cross-referenced to supporting calculations for the development and they should clearly indicate the location of all proposed drainage elements demonstrating that the surface water generated by this development (For all the rainfall durations starting from 15 min to 10080 min and intensities up to and including the climate change adjusted critical 100 yr storm) can be accommodated and disposed of without discharging onto the highway and without increasing flood risk on or off-site. The scheme shall include rainwater harvesting, where possible. The development shall thereafter be completed in accordance with the approved details.

Reason: To ensure that the principles of Sustainable Drainage are incorporated into this proposal and maintained thereafter.

- 25) Prior to first occupation of the development hereby approved, a detailed drainage management and maintenance plan for the lifetime of the development, which shall include arrangements for adoption by an appropriate public body or statutory undertaker, management by residents' management company or other arrangements to secure the operation of the drainage scheme throughout the lifetime of the development. The development shall be constructed in accordance with the approved details and thereafter retained.

Reason: To prevent increased risk of flooding to improve water quality and amenity to ensure future maintenance of the surface water drainage system

- 26) Prior to commencement of above ground works for the development hereby approved, a construction phase fire strategy, to include: details of access for firefighting personnel and equipment; that there is sufficient firefighting water supply; and details of the evacuation strategy and assembly points in the event of a fire, should be provided to and approved by the Local Planning Authority. Once approved the development shall be completed in accordance with the approved details.

Reason: In line with Policy D12 of the London Plan 2021.

- 27) Prior to the first occupation of the development hereby approved, an updated Fire Strategy Statement to include the following additional details: where fire and rescue service pumping appliances are to be sited; the location of fire evacuation assembly points and mitigation measures to ensure they are kept clear of obstructions; evacuation strategy including provisions for the evacuation of mobility impaired residents and details of how the strategy would be communicated to residents; adequate firefighting water supply; how the FSS would be managed, updated and monitored as required, should be submitted to and approved by the Council. Once approved the development shall be completed in accordance with the approved details and retained as such thereafter.

Reason: In line with Policy D12 of the London Plan.

- 28) Prior to the commencement of above ground works for the development hereby approved details of evacuation lifts for each block shall be submitted to the Local Planning Authority for its written approval. Once approved works shall be implemented in accordance with the approved details and retained as such thereafter.

Reason: In accordance with the requirements of Policy D5 of the London Plan 2021.

- 29) An updated Air Quality Assessment shall be submitted to the Local Planning Authority for its written approval prior to the commencement of above ground works for the development hereby approved. The updated AQA shall include:
- An addendum air quality assessment of the proposed development taking into consideration the likely operational impact of the development beyond the current 7th floor as submitted for the purposes of reaching a conclusion on development significance effects in the actual site and overall local air quality.
 - Monitoring will need to be undertaking at or within the close proximity of the site itself rather than relying purely on baseline monitoring farther away from the site nor Defra mapped background concentrations.
 - Provision of Predicted NO₂ Concentrations beyond 2020 as currently submitted. This needs to be submitted for building operational commencement year and a couple of years following the completion of development.

Once approved the development shall be completed in accordance with the approved details.

Reason: To Comply with the air quality requirements of the London Plan and GLA Sustainable Design and Construction SPG.

- 30) Prior to first occupation of the development hereby approved a combined Stage 1 and Stage 2 Road Safety Audit covering the four junctions of the new internal link roads with Adams Road, Willan Road and Gloucester Road shall be submitted to the Local Planning Authority for its written approval. The recommendations of the RSA

shall be taken up and followed in the design of the development as appropriate, and retained as such thereafter.

Reason: In order to protect amenity and the safety of the public highway.

- 31) Prior to the first occupation of the development (whichever occurs first) hereby approved a Car Parking Management Strategy (CPMS) for the residential properties and commercial units shall be submitted in writing to and for approval by the Local Planning Authority. The CPMS shall confirm availability and management of all approved parking before occupation. The CPMS shall be implemented as approved and maintained thereafter.

Reason: In order to protect amenity, the safety of the public highway and to promote sustainable travel.

- 32) No piling shall take place until a Piling Method Statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the Local Planning Authority in consultation with Thames Water. Any piling must thereafter be undertaken in accordance with the terms of the approved piling method statement.

Reason: The proposed works will be in close proximity to underground sewerage and water utility infrastructure.

- 33) No development shall be occupied until confirmation has been provided that either: all water network upgrades required to accommodate the additional demand to serve the development have been completed; or, a development and infrastructure phasing plan has been agreed with Thames Water to allow development to be occupied. Where a development and infrastructure phasing plan is agreed no occupation of the development shall take place other than in accordance with the agreed development and infrastructure phasing plan.

Reason: The development may lead to no / low water pressure and network reinforcement works are anticipated to be necessary to ensure that sufficient capacity is made available to accommodate additional demand anticipated from the new development.

- 34) Prior to the first occupation of the development hereby approved exact details of the play space to be installed within the development, around it and in other open spaces nearby shall be submitted to the Local Planning Authority for its written approval. Once approved works shall be implemented in accordance with the approved details and retained as such thereafter.

Reason: To meet the play space requirements of Policy S4 of the London Plan 2021.

- 35) Prior to first occupation of the development hereby approved the detailed design of screening to the balconies of the development block on the former Moselle School site shall be submitted to and approved in writing by the Local Planning Authority. Once approved the details shall be implemented and retained as such thereafter.

Reason: To ensure the high-quality design and amenity of the development in accordance with Policy DM1 of the Development Management DPD 2017.

- 36) Prior to the first occupation of the development hereby approved a scheme of digital connectivity infrastructure shall be submitted to the Local Planning Authority for its written approval that shows how full fibre connectivity shall be facilitated to all residential and non-residential units. Once approved the details shall be implemented and retained as such thereafter.

Reason: In accordance with Policy SI6 of the London Plan 2021.

- 37) Prior to the commencement of works on site an Arboricultural Method Statement, in accordance with the tree protection measures shown in the approved Arboricultural Report, shall be submitted to the Local Planning Authority for its written approval. Once approved the details shall be followed thereafter.

Reason: To protect trees in accordance with Policy DM1 of the Development Management DPD 2017.

- 38) Prior to the commencement of above ground works within each development phase, an existing condition survey for that development phase shall be carried out in collaboration with the Council with respect to the public highway along the site with particular reference to the carriageway, footway and crossovers. Prior to the first occupation of the development (and again on completion of the development if this occurs after first occupation) a similar final condition survey shall be undertaken. The applicant shall ensure that any damages caused by the construction works and highlighted by the before-and-after surveys are addressed and the condition of the public highway reinstated to the satisfaction of the Council. All costs to undertake the surveys and carry out any highway works should be paid in full by the applicant.

Reason: To ensure the construction works do not result in the deterioration of the condition of the public highway along the site.

- 39) Prior to the first occupation of the development hereby approved details of Courtyard Access Control Arrangements describing the detailed management of public and private access to the proposed landscaped courtyard areas, including appropriate safeguards in case of damage or lack of functionality, shall be submitted to the Local Planning Authority for its written approval. Details shall include information on access point design, layout, cycle access, management and maintenance, and rapid repairs in case of non-functionality. Once approved, works shall be implemented in accordance with the approved details and retained as such thereafter.

Reason: To ensure suitable access controls for vehicles are provided and to ensure the safety of the public highway.

- 40) No development approved by this planning permission shall commence until a strategy for maintaining and improving the culvert has been submitted to, and approved in writing by, the Local Planning Authority. This strategy will include a scheme, based on the condition survey "BWF Moselle Culvert Study" to undertake any required improvements or repairs to the culvert identified in the survey prior to the construction works. The scheme shall include a plan for any required long-term monitoring and maintenance and a program for the improvements or repairs completion. The scheme shall be fully implemented and subsequently maintained, in accordance with the scheme's timing/phasing arrangements, or within any other period as may subsequently be agreed, in writing, by the Local Planning Authority.

Reasons: To prevent flooding on site and elsewhere by ensuring that the Moselle Brook culvert is in satisfactory condition which is commensurate with the lifetime of the development which is in line with Paragraph 163 of the NPPF and Policy DM28 of the Haringey Development Management Development Plan Document (DPD).

- 41) The applicant shall carry out a post-development CCTV/structural survey of the culvert to demonstrate that the defects highlighted in the pre-development survey have been rectified and the development has not caused any adverse impacts on the structural integrity of the culvert within 90 days of the completion of the works. A copy of the CCTV survey shall be submitted to the LPA within 30 days. Any defects identified shall be made good at the applicant's expense and to the LPA's satisfaction within a time agreed with the LPA, in conjunction with the Environment Agency.

Reasons: To prevent flooding on site and elsewhere by ensuring that the Moselle Brook culvert is in satisfactory condition which is commensurate with the lifetime of the development which is in line with Paragraph 163 of the NPPF and Policy DM28 of the Haringey Development Management Development Plan Document (DPD).

- 42) Details of exact finishing materials to the boundary treatments and site access controls shall be submitted to the Local Planning Authority for its written approval prior to the first occupation of the development hereby approved. Once approved the details shall be provided as agreed.

Reason: In order to provide a good quality local character, to protect residential amenity, and to promote secure and accessible environments in accordance with Policies DM1, DM2 and DM3 of the Development Management Development Plan Document 2017.

- 43) The development hereby approved shall be constructed in accordance with the Energy Statement by XCO2 (dated February 2022 – to be updated) delivering a minimum TBC% improvement on carbon emissions over 2013 Building Regulations Part L, with SAP10 emission factors, high fabric efficiencies, new central energy centre, and a minimum 332 kWp solar photovoltaic (PV) array.

(a) Prior to above ground construction, details of the Energy Strategy shall be submitted to and approved by the Local Planning Authority. This must include:

- Confirmation of how this development will meet the zero-carbon policy requirement in line with the Energy Hierarchy;
- Confirmation of the necessary fabric efficiencies to achieve a minimum 10% reduction in SAP2012 carbon factors, including details showing how thermal bridging is reduced;
- Details of the proposed heating solution (location, specification, efficiency of proposed preferred and alternative heat sources) [can be moved to separate condition];
- Specification and efficiency of the proposed Mechanical Ventilation and Heat Recovery (MVHR), with plans showing the rigid MVHR ducting and location of the unit;
- Details of the PV, demonstrating the roof areas have been maximised, with the following details: a roof plan; the number, angle, orientation, type, and efficiency level of the PVs; how overheating of the panels will be minimised; their peak output (kWp);
- Calculation of the Carbon Offset Contribution (for the preferred and alternative low-carbon heating solution scenarios) and details of the off-site carbon offset mechanism to provide an overprovision of low-carbon heat in the energy centre for the existing dwellings on the estate.

The development shall be carried out strictly in accordance with the details so approved prior to first operation and shall be maintained and retained for the lifetime of the development. The solar PV array shall be installed with monitoring equipment prior to completion and shall be maintained at least annually thereafter.

(b) Within six months of first occupation, evidence that the solar PV installation has been installed correctly shall be submitted to and approved by the Local Planning Authority, including photographs of the solar array, a six-month energy generation statement, and a Microgeneration Certification Scheme certificate.

(c) Within one year of first occupation, evidence shall be submitted to and approved by the Local Planning Authority to demonstrate how the development has performed against the approved Energy Strategy and to demonstrate how occupants have been taken through training on how to use their homes and the technology correctly and in the most energy efficient way and that issues have been dealt with. This should include energy use data for the first year and a brief statement of occupant involvement to evidence this training and engagement. [can also be a separate planning condition]

Reason: To ensure the development reduces its impact on climate change by reducing carbon emissions on site in compliance with the Energy Hierarchy, and in line with London Plan (2021) Policy SI2, and Local Plan (2017) Policies SP4 and DM22.

44) Prior to the occupation of the relevant building, an assessment should be provided to be approved in writing by the Council which shall include an as built detailed energy assessment of the Development prepared in accordance with London Plan and Council policies which:

- explains and provides evidence to demonstrate whether or not the Development has been constructed and completed in accordance with the Approved Energy Plan in particular whether the 100% CO₂ emission reduction target has been met;
- explains and provides evidence to demonstrate whether or not the Development following Occupation complies with London Plan and Council policies;
- calculates and explains the amount of the Additional Carbon Offsetting Contribution (if any) to be paid by the Owners to the Council where the Development has not been constructed and completed in accordance with the Energy Plan;
- provides evidence to support (a) to (c) above including but not limited to photographic evidence, air tightness test certificates and as-built energy performance certificates; and
- such other information reasonably requested by the Council.

Reason: To ensure the development reduces its impact on climate change by reducing carbon emissions on site in compliance with the Energy Hierarchy, and in line with London Plan (2021) Policy SI2, and Local Plan (2017) Policies SP4 and DM22.

45) Prior to commencement, details of the energy centre shall be submitted to and approved by the Local Planning Authority: This must include

- Sizing of the plant and thermal store capacities for both the DEN option and the ASHP Option taking account of redundancy/resilience

- Analysis of how the plant will meet the energy demand profile demonstrating how plant selection results in a heat mix which has been optimised with respect to reducing capital and running costs and increasing carbon savings
- Fully coordinated layouts, sections and elevations of the energy centre showing how the plant and thermal stores will be accommodated and provision for access, plant manoeuvring, maintenance and repairs are in accordance with good industry practice
- Details of the location for the set down of a temporary plant adjacent to the Energy Centre to provide heat to the development in case of an interruption to the DEN supply including confirmation that the structural load bearing of the temporary boiler location is adequate for the temporary plant and identify the area/route available for a flue;
- Details of a future pipework route from the temporary boiler location to the connect to the on site network.

REASON: To ensure the development can comply with the Energy Hierarchy in line with London Plan 2021 Policy SI 2 and Local Plan Policy SP4 before construction works prohibit compliance.

46) Prior to the above ground commencement of construction work, details relating to the future connection to the proposed future DEN must be submitted to and approved by the local planning authority. This shall include:

- Peak heat load calculations in accordance with CIBSE CP1 Heat Networks: Code of Practice for the UK (2020) taking account of diversification.
- Details (plans and sections) of the route for the primary pipework and three 100mm diameter communications ducts through the site (from East boundary to West boundary) and connection to the energy centre including
 - evidence that the points of entry/exit from the site are coordinated with existing services and so provide a clear route for the area wide DEN,
 - detailed proposals for installation for the network within the site that shall be coordinated with existing and new services,
- A before and after floor plan showing how the plant room can accommodate a heat substation for future DEN connection. The heat substation shall be sized to meet the peak heat load of the site. The drawings should cover details of the phasing including any plant that needs to be removed or relocated and access routes for installation of the heat substation;
- Details of the location for building entry including dimensions, isolation points, coordination with existing services and detail of flushing/seals;

Reason: To ensure the development can comply with the Energy Hierarchy in line with London Plan 2021 Policy SI 2 and Local Plan Policy SP4 before construction works prohibit compliance.

47) No development shall take place beyond the superstructure of the development until a detailed scheme for energy monitoring has been submitted to and approved in writing by the Local Planning Authority. The details shall include details of suitable automatic meter reading devices for the monitoring of energy use and renewable/ low carbon energy generation. The monitoring mechanisms approved in the monitoring strategy shall be made available for use prior to the first occupation of each building and the monitored data for each block shall be submitted to the Local Planning

Authority, at daily intervals for a period of 5 years from final completion. Within six months of first occupation of any dwellings, evidence shall be submitted in writing to the Local Planning Authority that the development has been registered on the GLA's Be Seen energy monitoring platform.

REASON: To ensure the development can comply with the Energy Hierarchy in line with London Plan 2021 Policy SI 2 and Local Plan Policy SP4 before construction works prohibit compliance.

- 48) Prior to the commencement of development, an overheating model and report shall be submitted to and approved by the Local Planning Authority. The model will assess the overheating risk in line with CIBSE TM59 (using the London Weather Centre TM49 weather DSY1-3 files for the 2020s, and DSY1 for the 2050s and 2080s) and demonstrate how the overheating risks have been mitigated and removed through design solutions. These mitigation measures shall be operational prior to the first occupation of the development hereby approved and retained thereafter for the lifetime of the development. Air conditioning will not be supported unless exceptional justification is given.

This report will include:

- Modelling of sample internal corridors;
- Details of the design measures incorporated within the scheme in line with the Cooling Hierarchy (including details of the feasibility of prioritising passive cooling and ventilation measures) to ensure adaptation to higher temperatures are addressed, the spaces do not overheat, and the use of active cooling is avoided for current weather files, and as far as feasible to reduce overheating risk in future weather files.
- Details of the modelled pipework heat losses in corridors and flat HIU cupboards;
- Confirmation that the natural ventilation strategy for accessible habitable rooms will pass Building Regulations Part O;
- Confirmation who will be responsible to mitigate the overheating risk once the development is occupied.
- A retrofit plan to mitigate the future risks of overheating by setting out how the future mitigation measures are shown to help pass future weather files and confirming that the retrofit measures can be integrated within the design (e.g., if there is space for pipework to allow the retrofitting of cooling and ventilation equipment) and include any replacement / repair cycles and the annual running costs for the occupiers;
- Annotated floorplans showing which dwellings have been modelled.

Reason: In the interest of reducing the impacts of climate change, to enable the Local Planning Authority to assess overheating risk and to ensure that any necessary mitigation measures are implemented prior to construction, and maintained, in accordance with London Plan (2021) Policy SI4 and Local Plan (2017) Policies SP4 and DM21.

- 49) At least six months prior to the occupation of each non-residential area, an Overheating Report must be submitted to and approved by the Local Planning Authority if that space is to be occupied for an extended period of time or will accommodate any vulnerable users, such as office/workspace, community, healthcare, or educational uses.

The report shall be based on the current and future weather files for 2020s (DSY1-3), and DSY1 for 2050s and 2080s with the CIBSE TM49 London Weather Centre dataset. It shall set out:

- The proposed occupancy profiles and heat gains in line with CIBSE TM52
- The modelled mitigation measures which will be delivered to ensure the development complies with DSY1 for the 2020s weather file.
- A retrofit plan that demonstrates which mitigation measures would be required to pass future weather files, with confirmation that the retrofit measures can be integrated within the design.

The mitigation measures hereby approved shall be implemented prior to occupation and retained thereafter for the lifetime of the development.

REASON: In the interest of reducing the impacts of climate change, to enable the Local Planning Authority to assess overheating risk and to ensure that any necessary mitigation measures are implemented prior to construction, and maintained, in accordance with London Plan (2021) Policy SI4 and Local Plan (2017) Policies SP4 and DM21.

- 50) Prior to occupation, a Building User Guide for new residential occupants shall be submitted in writing to and for approval by the Local Planning Authority. The Building User Guide will advise residents how to operate their property during a heatwave, setting out a cooling hierarchy in accordance with London Plan (2021) Policy SI4 with passive measures being considered ahead of cooling systems for different heatwave scenarios. The Building User Guide should be easy to understand, and will be issued to any residential occupants before they move in, and should be kept online for residents to refer to easily.

Reason: In the interest of reducing the impacts of climate change and mitigation of overheating risk, in accordance with London Plan (2021) Policy SI4, and Local Plan (2017) Policies SP4 and DM21.

- 51) (a) Prior to commencement of the building with the GP Practice, an assessment should be submitted to and approved by the Local Planning Authority demonstrating that the health and wellbeing, pollution, water use and energy categories of the shell & core for the GP practice are met and prioritise sustainable design requirements as set out by the BREEAM New Construction manual.

(b) Prior to occupation of the GP practice unit, a BREEAM Fitout Pre-Assessment should be submitted to and approved by the Local Planning Authority. Following occupation, a post-construction certificate issued by the Building Research Establishment must be submitted to the local authority for approval, confirming this standard has been achieved.

Reason: In the interest of addressing climate change and securing sustainable development in accordance with London Plan (2021) Policies SI2, SI3 and SI4, and Local Plan (2017) Policies SP4 and DM21.

- 52) (a) Prior to the commencement of development, details of the living roofs and/or living wall must be submitted to and approved in writing by the Local Planning Authority. Living roofs must be planted with flowering species that provide amenity and biodiversity value at different times of year. Plants must be grown and sourced from the UK and all soils and compost used must be peat-free, to reduce the impact on climate change. The submission shall include:
- i) A roof plan identifying where the living roofs will be located and floor plans identifying where the living walls will be rooted in the ground, if any;
 - ii) A section demonstrating settled substrate levels of no less than 120mm for extensive living roofs (varying depths of 120-180mm), and no less than 250mm for intensive living roofs (including planters on amenity roof terraces);
 - iii) Roof plans annotating details of the substrate: showing at least two substrate types across the roofs, annotating contours of the varying depths of substrate
 - iv) Details of the proposed type of invertebrate habitat structures with a minimum of one feature per 30m² of living roof: substrate mounds and 0.5m high sandy piles in areas with the greatest structural support to provide a variation in habitat; semi-buried log piles / flat stones for invertebrates with a minimum footprint of 1m², rope coils, pebble mounds of water trays;
 - v) Details on the range and seed spread of native species of (wild)flowers and herbs (minimum 10g/m²) and density of plug plants planted (minimum 20/m² with roof ball of plugs 25m³) to benefit native wildlife, suitable for the amount of direct sunshine/shading of the different living roof spaces. The living roofs will not rely on one species of plant life such as Sedum (which are not native);
 - vi) Roof plans and sections showing the relationship between the living roof areas and photovoltaic array;
 - vii) Management and maintenance plan, including frequency of watering arrangements; and,
 - viii) A section showing the build-up of the blue roofs and confirmation of the water attenuation properties, and feasibility of collecting the rainwater and using this on site, if any.
- (b) Prior to the occupation of 90% of the dwellings of the relevant blocks, evidence must be submitted to and approved by the Local Planning Authority that the living roof has been delivered in line with the details set out in point (a). This evidence shall include photographs demonstrating the measured depth of substrate, planting and biodiversity measures. If the Local Planning Authority finds that the living roofs have not been delivered to the approved standards, the applicant shall rectify this to ensure it complies with the condition. The living roofs shall be retained thereafter for the lifetime of the development in accordance with the approved management arrangements.

Reason: To ensure that the development provides the maximum provision towards the creation of habitats for biodiversity and supports the water retention on site during rainfall. In accordance with London Plan (2021) Policies G1, G5, G6, SI1 and SI2 and Local Plan (2017) Policies SP4, SP5, SP11 and SP13.

- 53) Prior to the occupation of any building, a Post-Construction Monitoring Report should be completed in line with the GLA's Circular Economy Statement Guidance. The relevant Circular Economy Statement shall be submitted to the GLA at: circulareconomystatements@london.gov.uk, along with any supporting evidence as per the guidance. Confirmation of submission to the GLA shall be submitted to, and approved in writing by, the Local Planning Authority, prior to the occupation [of any phase / building/ development.

Reason: In the interests of sustainable waste management and in order to maximise the re-use of materials in accordance with London Plan (2021) Policies D3, SI2 and SI7, and Local Plan (2017) Policies SP4, SP6, and DM21.

- 54) Prior to the occupation of each building, the post-construction tab of the GLA's Whole Life Carbon Assessment template should be completed in line with the GLA's Whole Life Carbon Assessment Guidance. The post-construction assessment should provide an update of the information submitted at planning submission stage. This should be submitted to the GLA at: ZeroCarbonPlanning@london.gov.uk along with any supporting evidence as per the guidance. Confirmation of submission to the GLA shall be submitted to, and approved in writing by, the Local Planning Authority, prior to occupation of the relevant building.

Reason: In the interests of sustainable development and to maximise on-site carbon dioxide savings in accordance with London Plan (2021) Policy SI2, and Local Plan (2017) Policies SP4 and DM21.

- 55) (a) Prior to the commencement of development, details of ecological enhancement measures and ecological protection measures shall be submitted to and approved in writing by the Council. This shall detail the biodiversity net gain, plans showing the proposed location of ecological enhancement measures, a sensitive lighting scheme, justification for the location and type of enhancement measures by a qualified ecologist, and how the development will support and protect local wildlife and natural habitats.

(b) Prior to the occupation of development, photographic evidence and a post-development ecological field survey and impact assessment shall be submitted to and approved by the Local Planning Authority to demonstrate the delivery of the ecological enhancement and protection measures is in accordance with the approved measures and in accordance with CIEEM standards.

Development shall accord with the details as approved and retained for the lifetime of the development.

Reason: To ensure that the development provides the maximum provision towards the creation of habitats for biodiversity and the mitigation and adaptation of climate change. In accordance with London Plan (2021) Policies G1, G5, G6, SI1 and SI2 and Local Plan (2017) Policies SP4, SP5, SP11 and SP13.

- 56) Prior to the demolition and disassembly of the relevant existing building, a pre-demolition audit should be submitted to the Local Planning to demonstrate how the recovery, reuse, and recycling of materials and residual demolition waste will be used on site, or alternatively, nearby.

Reason: To support the circular economy of new developments, ensuring that materials are recovered, in line with London Plan (2021) Policy SI7.

- 57) Prior to the commencement of above ground works, annotated plans and details on what measures will be delivered to the external amenity areas that will help adapt the development and its occupants to the impacts of climate change through more frequent and extreme weather events and more prolonged droughts will be submitted to and approved by the Local Planning Authority. An allocation of a space where residents can cool off should also be provided, if feasible.

Reasons: In the interest of addressing climate change and securing sustainable development in accordance with London Plan (2021) Policies SI2, and SI7, and Local Plan (2017) Policies SP4 and DM21.

Informatives

1. In dealing with this application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our development plan comprising the London Plan 2021, the Haringey Local Plan 2017 along with relevant SPD/SPG documents, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant during the consideration of the application.
2. based on the information provided with the application the Mayoral CIL charge will be £61,325.76 (1,016sqm x £60.36) and the Haringey CIL charge will be £50,280.57 (381sqm x £131.97). Social housing relief has been included in these calculations.
3. The applicant is reminded that this planning permission does not infer consent for any signage that may be attached to the development hereby approved and separate advertisement consent may need to be sought.
4. The new development will require numbering. The applicant should contact Haringey Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 3797 / email: street.naming@haringey.gov.uk) to arrange for the allocation of a suitable address.
5. Prior to demolition of existing buildings, an asbestos survey should be carried out to identify the location and type of asbestos containing materials. Any asbestos containing materials must be removed and disposed of in accordance with the correct procedure prior to any demolition or construction works carried out.
6. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.
7. The applicant must seek the advice of the Metropolitan Police Service Designing Out Crime Officers (DOCOs) to achieve accreditation. The services of MPS DOCOs are available free of charge and can be contacted via docomailbox.ne@met.police.uk or 0208 217 3813.
8. The Environmental Permitting (England and Wales) Regulations 2016 require a permit or exemption to be obtained for any activities which will take place: • on or within 8 metres of a main river (16 metres if tidal) • on or within 8 metres of a flood defence structure or culverted main river (16 metres if tidal) • on or within 16 metres of a sea defence • involving quarrying or excavation within 16 metres of any main river, flood defence (including a remote defence) or culvert • in a floodplain more than 8 metres from the river bank, culvert or flood defence structure (16 metres if it's a tidal main river) and you don't already have planning permission For further guidance please visit <https://www.gov.uk/guidance/flood-risk-activities-environmental-permits> or contact our National Customer Contact Centre on 03708 506 506 (Monday to Friday, 8am to 6pm) or by emailing enquiries @environmentagency.gov.uk. The applicant should not assume that a permit will automatically be forthcoming once planning permission has been granted, and we advise them to consult with us at the earliest opportunity.

9. With a number of exceedances said to be recorded in the groundwater though alluded not to pose a risk to controlled waters in section 7.4 (Risks to controlled waters) of the contaminated land report, we however suggest comment from Environment Agency be sought in this regard as well as that of water supply company to confirm their requirements for water supply pipes.

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Planning Sub Committee 10th October 2022

Item No.

REPORT FOR CONSIDERATION AT PLANNING SUB-COMMITTEE**1. APPLICATION DETAILS****Reference No:** HGY/2022/0967**Ward:** Bruce Castle**Address:** 313 The Roundway and 8-12 Church Lane N17 7AB

Proposal: Demolition of existing buildings and erection of a three to five storey building with new Class E floorspace at ground floor and residential C3 units with landscaping and associated works.

Applicant: Mr Lee Fitzpatrick Hillview Developments

Ownership: Private

Officer contact: Christopher Smith

Date received: 16/03/2022

1.1 The application is being reported to the Planning Sub-Committee for determination as it is a major planning application.

1.2 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The proposed development would meet the requirements of Site Allocation SA63 by providing a mixed-use residential and commercial development and an east-west pedestrian and cycle route on this vacant and derelict site.
- The development would provide 76 new homes including 13 affordable homes (21% by habitable room), including nine three-bedroom homes (12%). This is the maximum reasonable of affordable housing and provides a satisfactory mix of unit sizes.
- The development would include new Class E commercial floorspace fronting onto Roundway that would provide a significant uplift in the number and quality of jobs on site.
- The development would be of a high-quality design that would substantially improve the appearance of the existing vacant and derelict site and would respect the visual quality of the local area. The development has general support from the Council's Quality Review Panel.
- The public benefits that would arise from the provision of a significant number of new housing and affordable housing units, substantial improvements in the visual quality of this long-term derelict and vacant site and its associated public realm improvements, and the provision of improved local connectivity to and from Bruce Castle Park via the new east-west route are considered to outweigh the development's moderate level of less than substantial harm to the significance of local heritage assets.

- The development would provide high-quality residential accommodation of an appropriate size, mix and layout within a well-landscaped environment, and would also provide new amenity and children's play spaces of an appropriate size and functionality.
- The development would not have a material negative impact on the occupiers of nearby residential properties in respect of a loss of sunlight and daylight, outlook or privacy, nor in terms of excessive levels of noise, light or air pollution.
- The development would include four on-street wheelchair-accessible car parking spaces and other sustainable transport initiatives would be secured including access to a car club and high-quality cycle parking.
- The development would achieve an 60% reduction in carbon emissions through a range of measures to maximise its sustainability and minimise its carbon emissions. The development would achieve a suitable urban greening factor and would result in a net gain in biodiversity on the site.
- All other relevant policies and considerations, including equalities, have been taken into account.

2 RECOMMENDATION

- 2.1 That the Committee resolve to GRANT planning permission and that the Head of Development Management or the Assistant Director of Planning, Building Standards & Sustainability is authorised to issue the planning permission and impose appropriate conditions and informatives subject to the signing of a Section 106 Legal Agreement providing for the obligations set out in the Heads of Terms below.
- 2.2 That the section 106 legal agreement referred to in resolution (2.1) above is to be completed no later than 30th November 2021 or within such extended time as the Head of Development Management or the Assistant Director of Planning, Building Standards & Sustainability shall in her/his sole discretion allow; and.
- 2.3 That, following completion of the agreement(s) referred to in resolution (2.1) within the time period provided for in resolution (2.2) above, planning permission shall be granted in accordance with the Planning Application subject to the attachment of the conditions; and
- 2.4 That delegated authority be granted to the Assistant Director of Planning, Building Standards & Sustainability/Head of Development Management to make any alterations, additions or deletions to the recommended heads of terms and/or recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice-Chair) of the Sub-Committee.

Conditions

- 1) Three years to commence
- 2) Drawing numbers
- 3) Use Classes
- 4) Materials
- 5) Roof plant details

- 6) Secured by design
- 7) Lighting
- 8) Ecology
- 9) Landscaping
- 10) Cycle parking
- 11) Deliveries and servicing
- 12) Contamination
- 13) Remediation
- 14) CEMP
- 15) Piling
- 16) Fire strategy
- 17) Air quality assessment
- 18) Play space
- 19) Digital connectivity
- 20) Arboricultural method statement
- 21) Highway condition survey
- 22) Route access controls
- 23) Block D access controls
- 24) Boundary treatments
- 25) RSA Stage 2
- 26) Energy strategy
- 27) DEN connection
- 28) Energy monitoring
- 29) Overheating – residential
- 30) Overheating – non-residential
- 31) Building user guide
- 32) BREEAM
- 33) Living roofs
- 34) Surface water drainage
- 35) Drainage management
- 36) Wheelchair user dwellings
- 37) Television antenna/satellite dish
- 38) Plant noise
- 39) Considerate contractor

Informatives

- 1) Proactive relationship
- 2) CIL
- 3) Signage
- 4) Naming and numbering
- 5) Asbestos survey
- 6) Water pressure
- 7) Designing out crime
- 8) Environmental permit
- 9) Noise levels

Section 106 Heads of Terms:

- 1) Affordable housing
 - 21% by habitable room
 - 8 affordable rented homes
 - 5 shared ownership homes

- Early-stage review if no work commenced within two years
- Late-stage review

2) Car club contributions

- Each new dwelling to be provided with a contribution of max. £100 per unit towards use of a car club

3) Travel plans

- Residential travel plan
- Workspace travel plan
- Monitoring costs at £1,000 per travel plan per year for five years (£10,000)

4) Electric vehicle charging

- One active EV charging point provided to an off-site parking space
- Remainder of parking spaces to be fitted with 'passive' EV provision

5) Highway works to be secured through a s278 agreement

6) Wayfinding strategy

- Details of signage on and to the new east-west route

7) New public route through the site

- Management and maintenance arrangements

8) Architect retention

9) Employment and skills plan

- Plus appropriate contribution to be confirmed

10) Carbon offsetting £91,171.50

- Energy strategy review on occupation
- Final offsetting figure can then be reviewed
- 10% management fee also required

11) Monitoring

- 5% of total financial heads (excluding carbon offset)
- £500 per non-financial head
- Estimated £4,000 (plus 5% of E&S contribution)

2.5 In the event that members choose to make a decision contrary to officers' recommendation members will need to state their reasons.

2.6 That, in the absence of the agreement referred to in resolution (2.1) above being completed within the time period provided for in resolution (2.2) above, the planning permission be refused for the following reasons:

1. The proposed development, in the absence of a legal agreement securing the provision of affordable housing. As such, the proposal is contrary to Policy DM13 of the Development Management DPD 2017, Policy SP2 of the Local Plan 2017 and Policy H4 of the London Plan.

2. The proposed development, in the absence of a legal agreement to work with the Council's Employment and Skills team and to provide other employment initiatives would fail to support local employment, regeneration and address local unemployment by facilitating training opportunities for the local population. As such, the proposal is contrary to Policy SP9 of Haringey's Local Plan 2017.
 3. The proposed development, in the absence of a legal agreement securing sufficient energy efficiency measures and/or financial contribution towards carbon offsetting, would result in an unacceptable level of carbon dioxide emissions. As such, the proposal would be contrary to Policy SI2 of the London Plan, Local Plan 2017 Policy SP4 and Policy DM21 of the Development Management DPD 2017.
 4. The proposed development, in the absence of a legal agreement securing measures to retain the existing architects, could result in a significant reduction in the completed design quality of the development. As such, the proposal would be contrary to Policy D3 of the London Plan, Local Plan 2017 Policy SP11 and Policy DM1 of the Development Management DPD 2017.
 5. The proposed development, in the absence of a legal agreement securing sustainable transport measures and public highway works, would have an unacceptable impact on the safe operation of the highway network, give rise to overspill parking impacts and unsustainable modes of travel. As such, the proposal would be contrary to London Plan Policies T1, T2, T6, T6.1 and T7, Spatial Policy SP7, Tottenham Area Action Plan Policy NT5 and DM DPD Policy DM31.
- 2.7 In the event that the Planning Application is refused for the reasons set out in resolution (2.6) above, the Head of Development Management (in consultation with the Chair of the Planning Sub-Committee) is hereby authorised to approve any further application for planning permission which duplicates the Planning Application provided that:
- i. There has not been any material change in circumstances in the relevant planning considerations, and
 - ii. The further application for planning permission is submitted to and approved by the Assistant Director within a period of not more than 12 months from the date of the said refusal, and
 - iii. The relevant parties shall have previously entered into the agreement contemplated in resolution (1) above to secure the obligations specified therein.

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- Appendix 2 Plans and Images
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3 PROPOSED DEVELOPMENT AND SITE LOCATION DETAILS

Proposed development

- 3.2 This planning application is for the redevelopment of the existing partially vacant and derelict land on Roundway and Church Lane to form a three to five storey development providing 76 new homes (Use Class C3), 600sqm of commercial space (Use Class E), a new pedestrian and cycle route through the site, communal amenity and play space, cycle parking and new hard and soft landscaping.



- 3.3 The development would include 21% affordable housing by habitable room. 12% of homes would have three bedrooms. All homes would meet national space standards. 80% of the homes are dual aspect. The roof areas would include shared amenity and play spaces that can be accessed by occupants of all dwellings.
- 3.4 Four 'Blue Badge' car parking spaces are proposed on the public highway on Church Lane. 165 cycle parking spaces would also be provided. The development would include an east-west pedestrian route improving connectivity for pedestrians from The Roundway to Church Lane and Bruce Castle Park.
- 3.5 The development includes photovoltaic panels and air source heat pumps. The proposal has a contemporary design using materials that are sympathetic to its historic surroundings. Buildings would be finished in buff brick with terracotta detailing, a grey metal-clad roof and metalwork balcony railings and balustrades.

Site and Surroundings

- 3.6 The application site is an angular land parcel located within the street block that is demarcated by The Roundway (west), Church Lane (east), Lordship Lane (south) and All Hallows Road (north). The site includes the vacant and derelict 315 The Roundway and 8 Church Lane sites, plus 313 The Roundway and 12 Church Lane which are currently occupied by vehicle storage and servicing businesses.
- 3.7 To the north of the site fronting onto The Roundway is a Shell petrol station. Behind the petrol station is a car wash facility. To the north fronting onto Church Lane is the Rising Stars nursery and day care centre. To the south of the site is the Spurz Autos vehicle garage and an electrical substation.
- 3.8 The wider surrounding area has a varied character. To the west is The Roundway, its associated planted verges and the two storey Peabody Cottages estate. To the south are two and three storey properties with commercial space at ground floor and residential accommodation above. To the north are two storey homes and a primary school on All Hallows Road. The Bruce Castle Museum and Park are located to the east.
- 3.9 The application site is located partly (12 Church Lane only) within the Bruce Castle Conservation Area (BCCA), which extends eastwards into Bruce Castle Park and to the north and south-east of the site. To the east of the site the Bruce Castle Museum and Tower are both Grade I Listed. The wall that is located between the Museum/Tower and the application site is Grade II Listed. The nursery which is adjacent to the site to the north is locally listed.
- 3.10 To the south of the site are several locally listed buildings on Lordship Lane, which includes the Elmhurst Public House (no. 129) at the corner with Broadwater Road. To the west of the site, the Peabody Cottages residential estate forms the Peabody Cottages Conservation Area.
- 3.11 Further to the north are the All Hallows Church and Vicarage Priory which are Grade II* Listed. The wall south of Bruce Castle Park is also Grade II Listed. To the north-west Risley Primary School is locally listed.
- 3.12 The application site forms the central part of Site Allocation SA63 of the Site Allocations DPD 2017 which has been identified for mixed use commercial and residential development and the provision of an east-west route.
- 3.13 The site is located within an Archaeological Priority Area, a Flood Zone 1 (low risk) and a Groundwater Source Protection Zone. Adjacent to the site area a Blue Ribbon Network (Culverted Moselle River to the south), a Metropolitan Open Land, Historic Park and Grade II Site of Importance for Nature Conservation (all Bruce Castle Park to the east).
- 3.14 The site is marginally within the linear local view no.19 Bruce Castle to Alexandra Palace.
- 3.15 The site has a public transport accessibility level (PTAL) of 3 to 5 (where 6 is best).

Relevant Planning History

- 3.16 As the application site currently includes several parcels of land in multiple ownerships, this application has a complex planning history including many

applications for minor works and extensions have not been referenced below as they are not relevant to this application. Relevant applications since 2002 are described below.

315 The Roundway

- 3.17 HGY/2015/1297. Extension of existing time-limited permission No.HGY/2013/2550 for change of use of the site as both works offices and storage and amenity facilities in connection with refurbishment works to Circle 33 properties. Refused 30th June 2015. *(Land Between 315 The Roundway & 52 Lordship Lane)*
- 3.18 HGY/2013/2550. Temporary permission for change of use of the site as both works offices and storage and amenity facilities in connection with refurbishment works to Circle 33 properties. Permission granted 29th January 2014. *(Land Between 315 The Roundway & 52 Lordship Lane)*
- 3.19 HGY/2005/1992. Demolition of existing garages and erection of 1 x 4 storey block comprising 13 x one bed, 35 x two bed, 1 x three bed and 4 x four bed flats. Provision of 20 car parking spaces, 3 motorcycle spaces and 25 bicycle spaces. Withdrawn 7th June 2006. Appeal dismissed 19th September 2006.
- 3.20 HGY/2005/0274. Demolition of existing garages and erection of 1x4 storey and 1 x part 3 /part 4 storey blocks comprising of 56 x one, two, three and four bedroom flats and maisonettes. Provision of 18 car and 4 motorcycle spaces and bicycle storage. Refused 11th May 2005. Appeal dismissed 19th September 2006.

12 Church Lane

- 3.21 HGY/2002/0779. The erection of a first-floor side/rear extension. Permission granted 31st July 2002.

52 Lordship Lane

- 3.22 HGY/2010/1977. Addition of MOT station to existing garage. Permission granted 22nd March 2011.
- 3.23 HGY/2010/1933. Addition of hand car wash facilities to forecourt of existing garage. Refused 7th December 2010.

4 CONSULTATION RESPONSE

4.2 Quality Review Panel

- 4.3 The scheme has been presented to Haringey's Quality Review Panel on two occasions. The most recent Review was on 2nd March 2022. The Panel's written responses are attached in Appendix 6.

4.4 Planning Committee Pre-Application Briefing

- 4.5 The proposal was presented to the Planning Sub-Committee at a Pre-Application Briefing on 7th February 2022. The minutes are attached in Appendix 7.

4.6 Development Management Forum

4.7 A DM Forum was held on 23rd February 2022. The main topics raised were height, massing and design quality, impact on nearby heritage assets, impact on residential amenity and construction works management. Details and summaries of the comments made and responses are available in Appendix 8.

4.8 **Planning Application Consultation**

4.9 The following were consulted regarding the application:

Internal

4.10 LBH Design: No objections.

4.11 LBH Conservation: No objection in principle to the development. The proposal would detract from the surrounding historic built environment. The harm that would be caused is towards the moderate level of less than substantial harm.

4.12 LBH Housing: No objection.

4.13 LBH Transportation: Some concerns are raised which are addressed in the relevant section of the report below.

4.14 LBH Carbon Management: No objections, subject to conditions and obligations.

4.15 LBH Regeneration: No objections.

4.16 LBH Nature Conservation: No objections, subject to conditions. Landscape and ecological management plan, CEMP.

4.17 LBH Tree Officer: No objections, subject to conditions.

4.18 LBH Flood and Water Management: No objections, subject to conditions.

4.19 LBH Waste Management: No objections.

4.20 LBH Pollution: No objections, subject to conditions.

4.21 LBH Noise: No objections, subject to conditions.

4.22 LBH Building Control: No objections.

External

4.23 Historic England: No comments to make.

4.24 Historic England Greater London Archaeological Advisory Service: No archaeological investigation is required.

4.25 Transport for London: No objections, subject to conditions.

4.26 London Fire Brigade: No comments received.

- 4.27 Environment Agency: No objections, subject to an informative.
- 4.28 Thames Water: No objections, subject to conditions and informatives.
- 4.29 Metropolitan Police Designing Out Crime Officer: No objections, subject to conditions and an informative.

5 LOCAL REPRESENTATIONS

- 5.1 The application has been publicised by way of a press notice, several site notices which were displayed in the vicinity of and around the site and 266 individual letters sent to surrounding properties. The number of representations received from neighbours, local groups, etc in response to notification and publicity of the application were as follows:

No of individual responses: 5
Objecting/Commenting: 3
Supporting: 2

- 5.2 The following local groups/societies (other than those consulted above) made representations:

- Friends of Bruce Castle

- 5.3 The following issues were raised in representations that are material to the determination of the application and are addressed in the next section of this report:

- Excessive size and scale
- Inappropriate design
- Out of keeping with local character
- Negative impact on local heritage
- Insufficient parking provision

- 5.4 The following issues raised are not material planning considerations:

- Alternative designs should be considered (officer note: this application must be considered on the basis of the designs put forward by the applicant)

6 MATERIAL PLANNING CONSIDERATIONS

Statutory Framework

- 6.1 Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with policies of the statutory Development Plan unless material considerations indicate otherwise.

Considerations

- 6.2 The main planning considerations raised by the proposed development are:

1. Principle of development
2. Affordable housing and housing mix

3. Design and appearance
4. Heritage impact
5. Residential quality
6. Impact on neighbouring amenity
7. Transport and parking
8. Urban greening and ecology
9. Carbon Reduction and sustainability
10. Flood risk and water management
11. Land contamination
12. Fire safety

Principle of development

National Policy

- 6.3 The National Planning Policy Framework 2021 (NPPF) establishes the overarching principles of the planning system, including the requirement of the system to “drive and support development” through the local development plan process. It advocates policy that seeks to significantly boost the supply of housing and requires local planning authorities to ensure their Local Plan meets the full, objectively assessed housing needs for market and affordable housing.

Regional Policy – The London Plan

- 6.4 The London Plan 2021 Table 4.1 sets out housing targets for London over the coming decade, setting a 10-year housing target (2019/20 – 2028/29) for Haringey of 15,920, equating to 1,592 dwellings per annum.
- 6.5 London Plan Policy H1 states that boroughs should optimise the potential for housing delivery on all suitable and available brownfield sites.
- 6.6 London Plan Policy H4 requires the provision of more genuinely affordable housing on development sites with major developments required to follow the Mayor’s threshold approach.
- 6.7 London Plan Policy D6 seeks to optimise the potential of sites, having regard to local context, design principles, public transport accessibility and capacity of existing and future transport services. It emphasises the need for good housing quality which meets relevant standards of accommodation.

Local Policy

- 6.8 The Haringey Local Plan Strategic Policies DPD 2017 (hereafter referred to as Local Plan) sets out the long-term vision of the development of Haringey by 2026 and also sets out the Council’s spatial strategy for achieving that vision.
- 6.9 Local Plan Policy SP2 states that the Council will aim to provide homes to meet Haringey’s housing needs and to make the full use of Haringey’s capacity for housing by maximising the supply of additional housing to meet and exceed the minimum target including securing the provision of affordable housing. Policy SP8 states that the Council will protect non-designated employment sites and secure a strong economy in Haringey.

- 6.10 The Development Management DPD 2017 (hereafter referred to as the DM DPD) supports proposals that contribute to the delivery of the strategic planning policies referenced above and sets out its own criteria-based policies against which planning applications will be assessed. Policy DM10 seeks to increase housing supply and seeks to optimise housing capacity on individual sites. Policy DM13 makes clear that the Council will seek to maximise affordable housing delivery on all sites.
- 6.11 Policy DM40 states that on non-designated employment sites the Council will support proposals for mixed-use development where this is necessary to facilitate the regeneration of existing employment floorspace and that to achieve this, developments should meet the requirements of Policy DM38 which requires new employment space to be maximised. Policy DM41 states that proposals for new retail uses outside of town centres should demonstrate that there are no suitable town or edge-of-centre sites available in the first instance and demonstrate that they would not harm nearby town centres.
- 6.12 The application site forms part of site allocation SA63 (The Roundway) in the Site Allocations DPD 2017 (SADPD). SA63 is identified as being suitable for new mixed-use development that is sympathetic to the nearby Bruce Castle and also provides an east-west pedestrian and cycling connection.
- 6.13 SA63 has the following Site Requirements and Development Guidelines:

Site Requirements

- Development proposals will be required to be accompanied by a site wide masterplan showing how the land included meets this policy and does not compromise co-ordinated development on the other land parcels within the allocation. Development proposals will be required to be accompanied by a site wide masterplan showing how the land included meets this policy and does not compromise coordinated development on the other land parcels within the allocation in line with Policy DM55.
- The existing employment floorspace on this site should be replaced wherever feasible. Residential will be permitted on this site to make viable the renewal of the employment stock.
- No buildings need to be retained, but the Parkside Prep school should not be compromised through any redevelopment.
- Development on this site should enhance the setting of Bruce Castle, including access to Bruce Castle Park.
- Affordable rent may be sought having regard to the viability of the scheme as a whole will be expected in this area in line with Policy DM38.

Development Guidelines

- Heights should be limited adjacent to the nursery and the existing houses to the north of the site.

- In line with policy SP9, if redevelopment results in a net loss of employment floorspace, a financial contribution may be required as set out in the Planning Obligations SPD.
- The building hosting the electricity substation on Church Lane is of some historic value, and while a comprehensive approach to the site is encouraged, a new use for this building could be considered.
- New development should attempt to continue the street frontages on all sides and should respect the scale of terraces within the Peabody Estate Conservation Area.
- Layout of new development should complement or respond to established 'back to back' terrace layout of the Peabody cottages.
- New development should be of high quality and enhance the setting of both the Conservation Areas and the Grade I Listed Bruce Castle.
- Whilst not listed on its own right, Bruce Castle Park is an important heritage as well as community asset. Development should contribute to and enhance its setting.
- The prominent location attributes itself to an opportunity to create a visible architectural landmark, marking the entrance and setting of Bruce Castle. It could act as a 'wayfinder' for the heritage assets nearby.
- This should be achieved not necessarily by height but by virtue of its design and should be such that it is not intrusive to the setting of Bruce Castle or its grounds.
- This site is in a groundwater Source Protection Zone and therefore any development should consider this receptor in any studies undertaken. Studies should be undertaken to understand what potential contamination there is on this site prior to any development taking place and where appropriate, a risk management and remediation strategy.
- A piling statement will be required prior to any piling taking place.
- The site has potential for significant archaeology, given its location opposite Bruce Castle and within the historic medieval core, which will require assessment.

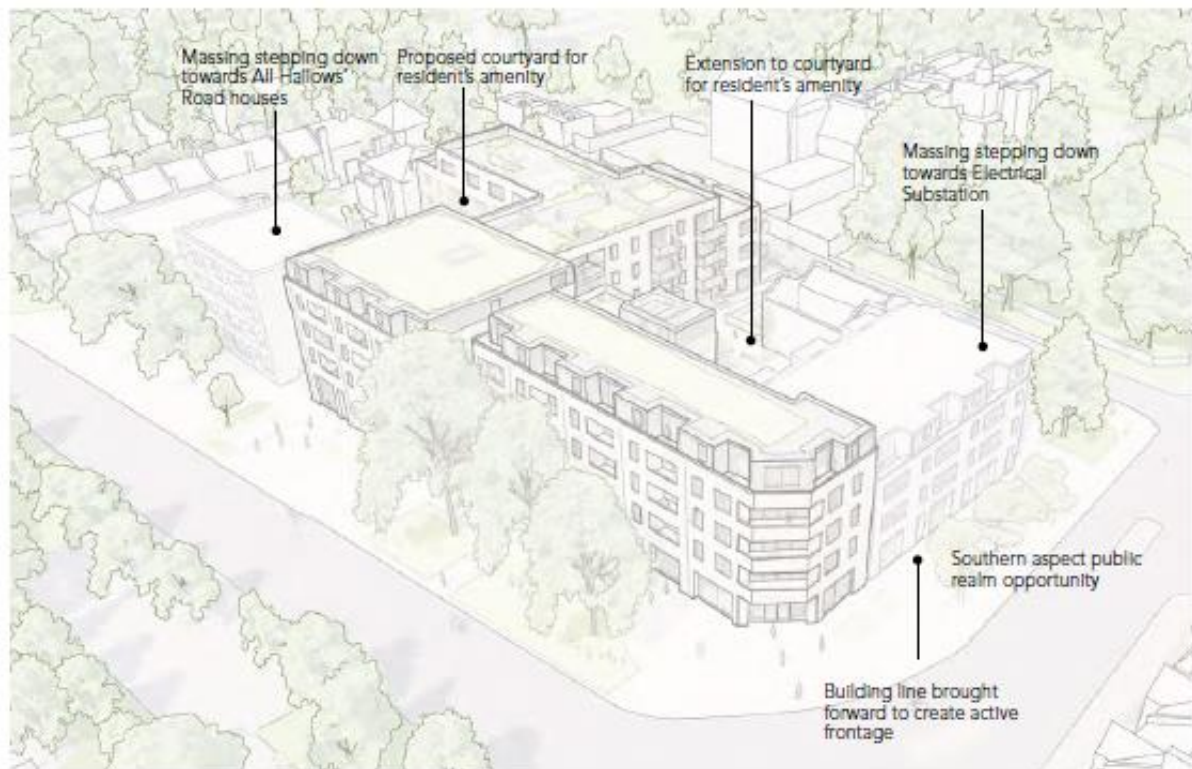
Housing Supply

- 6.14 The Council at the present time is unable to fully evidence its five-year supply of housing land. The 'presumption in favour of sustainable development' and paragraph 11(d) of the NPPF should be treated as a material consideration when determining this application, which for decision-taking means granting permission unless the application of policies in the NPPF that protect areas or assets of particular importance provides a clear reason for refusal or any adverse impacts of doing so would significantly and demonstrably outweigh the benefits when assessed against the policies in the NPPF taken as a whole. Nevertheless, decisions must still be made in accordance with the development plan (relevant policies summarised in this report) unless material considerations indicate otherwise (of which the NPPF is a significant material consideration).

Assessment

Site Allocation and Masterplanning

- 6.15 Policy DM55 of the Development Management DPD states that where developments form only a part of allocated sites a masterplan shall be prepared to demonstrate that the delivery of the site allocation and its wider area objectives would not be frustrated by the proposal.
- 6.16 This application relates to the central part of site allocation SA63 only. The remaining land within SA63 is occupied by the Shell Petrol Station and a car wash (north of the site), the Spurz Autos vehicle garage (south of the site) and an electricity sub-station (south-east of the site). The applicant has made attempts to bring those landowners into this development proposal but that has not been possible at this time.



- 6.17 The application is supported by a masterplan that shows how adjacent sites could be developed to provide a site allocation-wide development. The masterplan proposal would step down in height towards its corners which is consistent with the approach taken by the proposed development.
- 6.18 The masterplan design and layout shows that the site allocation requirements and development guidelines could be met on the adjoining sites in conjunction with this proposal. As such, it is considered that the masterplan shows that the development would not prejudice the delivery of the site allocation and its wider objectives and is therefore compliant with Policy DM55.

Provision of Non-Residential Uses

- 6.19 The site allocation SA63 requires mixed-use development on the site. Policy DM40 states that non-designated employment sites in accessible locations are suitable for mixed-use developments that regenerate employment floorspace, in accordance with Policy DM38.

- 6.20 Policy DM38 requires new regenerative employment-related development to: maximise the amount of employment floorspace, provide improvements in the suitability of the site for continued employment use with regard to key indicators such as jobs, flexibility of floorspace provided and environmental quality of the site; provide affordable workspace where viable; ensure residential amenity and retained employment space functionality is protected, and; provide access to high quality broadband connection.
- 6.21 The application site contains various buildings and yards which relate to the car storage and service industries. Two of these sites are currently vacant. The lack of activity and derelict nature of much of the land and many buildings on the site has been prominent in the locale for many years. The site is surrounded by hoardings in part and one of the buildings on site has been subject to severe fire damage.
- 6.22 The employment land on existing sites totals 1,192sqm of gross internal area (GIA). 415sqm of this is currently vacant. The remaining active 777sqm of commercial floor space employs a low number of staff (4) due to the nature of the uses as vehicle servicing and storage uses.
- 6.23 The proposed development would provide 600sqm of new employment space in the form of flexible Class E floor space. This is currently anticipated to be in the form of workspace and a retail unit. The applicant has requested flexibility in the exact final uses to ensure they would be occupied. It is understood that these end uses would provide 30-50 new jobs at the site.
- 6.24 Despite the overall reduction in floorspace it is considered that the proposed development would maximise the new employment on site by providing flexible Class E uses along the whole available street frontage on the Roundway. The number and quality of jobs would significantly increase, as described above. The environmental quality of the site would improve substantially. Residential amenity would be protected through conditions and the functionality of existing employment activities respected. Broadband connections would be secured through condition.
- 6.25 No affordable workspace has been secured due to viability constraints. The financial viability of the development is discussed further in the sections below.
- 6.26 As such, the provision of regenerated employment activities at this site is compliant with Policy DM40 and is therefore considered acceptable.
- 6.27 Provision of New Housing
- 6.28 The Council's housing target as set by the London Plan is 1,592 dwellings per annum. London Plan Policy H1 states that boroughs should optimise the potential for housing delivery on all suitable brownfield sites. Local Plan Policy SP2 states that the Council will aim to provide homes to meet Haringey's housing needs and will make the full use of Haringey's capacity for housing by maximising the supply of additional housing.
- 6.29 Policy DM10 of the DM DPD states that the Council will support proposals for new housing on sites allocated for residential development.
- 6.30 This number of new homes is a significant contribution towards the Council's housing target as described above and is in accordance with housing policies including Policy

SP2, DM10 and site allocation SA63. As such, the provision of housing on this site is acceptable in principle.

Affordable housing and housing mix

Affordable Housing Provision

- 6.31 Policy DM13 of the DM DPD states that developments with capacity to accommodate more than ten dwellings should provide affordable housing, and that the maximum reasonable amount of affordable housing provision will be sought on site. The policy requires that 40% affordable housing is sought on a borough-wide basis and that there is a preference for a 60:40 split of affordable rented properties to intermediate housing. The policy continues to state that the Council must have regard to development viability and individual site circumstances when considering the affordable housing offer for specific development proposals.
- 6.32 The Mayor of London's Affordable Housing and Viability SPG provides detailed guidance to ensure that existing affordable housing policy is as effective as possible. The SPG states that all developments not meeting a 35% affordable housing threshold must be assessed for financial viability through the assessment of an appropriate financial appraisal, with early and late-stage viability reviews required where appropriate.
- 6.33 13 new affordable homes (21% by habitable room) would be provided within a single block (Block B). The homes would be provided in a 'tenure blind' manner by ensuring the proposed development is designed so the affordable homes would be indistinguishable from the market homes. The affordable homes would be provided as 8 affordable rent and 5 shared ownership homes. Affordable housing is considered in more detail in the sections below.
- 6.34 The application is supported by a Financial Viability Assessment Report. This has been independently assessed by the Council's appointed independent viability consultant BNP Paribas and it was concluded that there is a deficit against the development's viability benchmark. It is therefore considered that the maximum reasonable amount of affordable housing has been provided.
- 6.35 The site has the potential to accommodate a greater scale of development with a greater number of affordable homes however this would result in a greater impact on the surrounding heritage assets. Through the pre-application process where several options were considered, the scale of development proposed has been found to deliver the optimum balance between minimising heritage harm and maximising housing delivery.
- 6.36 The proposed split of affordable housing is shown in the table below:

Tenure	1 Bed Units	2 Bed Units	3 Bed Units	Total by Unit	Total by HR
Total Affordable	5	2	6	13	40
Shared Ownership	2	1	2	5	15
Affordable Rent	3	1	4	8	25

- 6.37 The table shows an affordable split of 62.5% affordable rent homes and 37.5% shared ownership homes, calculated by habitable room. This split of affordable homes is generally compatible with the requirements of Policy DM13 as well as the Council's policy preference for affordable rented homes in this part of Haringey.
- 6.38 Six of the affordable homes (46%) would be family-sized properties with four (30%) of these as affordable rented homes.

Housing Mix

- 6.39 Policy DM11 of the DM DPD states that the Council will not support proposals which result in an over concentration of one or two bedroom units overall unless they are part of larger developments.
- 6.40 There are nine (12%) three-bedroom homes with the development proposal which is an acceptable proportion of family-sized homes. The site is in a highly accessible location with Bruce Grove station and several bus stops close by and there is limited parking availability in local streets, which makes the site more suitable for smaller households that can rely on sustainable transport modes and do not require associated parking. There are already a significant number of family homes in the local area including in the Peabody Cottages estate, All Hallows Road, Broadwater Road and Lordsmead Road as well as on Lordship Lane to the west. As such, the provision of mostly one and two bedroom properties in this location is supported.
- 6.41 As such, the proposed development would be acceptable in terms of providing the maximum reasonable amount of affordable housing and in terms of its overall housing mix.

Design and appearance

National Policy

- 6.42 Chapter 12 of the NPPF 2021 states that that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 6.43 It states that, amongst other things, planning decisions should ensure that developments function well and add to the overall quality of the area and should be visually attractive due to good architecture, layout and appropriate landscaping.

Regional Policy - London Plan

- 6.44 London Plan 2021 Policy D3 emphasises the importance of high-quality design and seeks to optimise site capacity through a design-led approach. Policy D4 of the London Plan notes the importance of scrutiny of good design by borough planning, urban design, and conservation officers as appropriate. It emphasises the use of the design review process to assess and inform design options early in the planning process (as has taken place here).
- 6.45 Policy D6 concerns housing quality and notes the need for greater scrutiny of the physical internal and external building spaces and surroundings as the density of schemes increases due the increased pressures that arise. It also requires development capacity of sites to be optimised through a design-led process.

Local Policy

- 6.46 Policy SP11 of the Haringey Local Plan requires that all new development should enhance and enrich Haringey's built environment and create places and buildings that are high quality, attractive, sustainable, safe and easy to use.
- 6.47 Policy DM1 of the DM DPD requires development proposals to meet a range of criteria having regard to several considerations including building heights; forms, the scale and massing prevailing around the site; the urban grain; and a sense of enclosure. It requires all new development to achieve a high standard of design and contribute to the distinctive character and amenity of the local area.

Quality Review Panel (QRP)

- 6.48 The development proposal has been presented to the QRP twice prior to the submission of this application. The most recent review took place on 2nd March 2022. The Panel's summarising comments of this latest review are provided below.
- 6.49 *"The panel finds much to admire in the proposed design and offers some comments where it feels there is scope for refinement at a detailed level. It supports the scale and massing, the brick materiality, and welcomes the careful thought that has been given to landscape design. It feels that the architectural expression sits comfortably in the surrounding townscape, but would encourage a more confident approach to the southwest corner. It also suggests exploring semi-recessed balconies on the elevation facing Bruce Castle, and feels that entrances to Block D would be better located on Church Lane. The panel is confident that the design team will be able to address these minor comments, in consultation with planning officers."*
- 6.50 Since the date of the second review the proposal has been amended to address the most recent comments from the QRP. The table below provides a summary of key points from the most recent review, with officer comments following:

Panel Comments	Officer Response
Plan and layout of units in Block D	
The panel welcomes the improved layout of the units in Block D. Moving the living spaces to the east, facing onto Church Lane, will provide residents with views of the street and to Bruce Castle and the park beyond.	Comments noted.
While the panel appreciates the design team's consideration of the long-term masterplan there is no guarantee that the Shell Petrol Station site will be redeveloped.	Comments noted. This development is not reliant on the adjacent petrol station being redeveloped and policy DM55 supports this approach.
It feels that Block D would benefit from moving the entrances to the east, to activate Church Lane and improve the legibility of the homes for postal and other deliveries.	The entrance sequence for Block D has been redesigned. The rationale for siting the main entrance to the west is to locate amenity and habitable room areas onto the landscaped space off Church Lane rather than adjacent to the petrol station and car wash to the rear. A new gated entrance from

	Church Lane to the rear of Block D will provide a clear point of entry to this rear entrance area.
Architectural expression and materiality	
The panel supports the scale of the proposals and welcomes the visually 'polite' architecture which sits comfortably within the wider context of surrounding conservation areas.	Comments noted.
It welcomes the design development of the east façade facing Bruce Castle, but encourages further thought about integrating the balconies into the architecture.	The balconies projecting on the Church Lane elevation are now semi-recessed where they are closest to the street frontage to reduce their visual prominence. The detailed design of the balconies is supported by officers.
Semi-recessed balconies could respond more appropriately to the Grade I listed Bruce Castle, and would also partially screen any residents' belongings, which are often stored on balconies.	Comments noted. See above response.
The panel supports further development of the proposed metal railings. The inclusion of bespoke and distinctively crafted elements will add welcome visual interest and elegance to the scheme.	Metal railings to balconies and other design features such as balustrades now have a bespoke and distinctive design that is reflective of local heritage features.
It welcomes the presentation of the design options considered for the prominent southwest corner of the scheme, facing onto Lordship Lane, and supports the design team's decision to integrate the balconies with the brickwork.	Comments noted.
The panel noted the opportunity to enhance the architecture through the materials and detailing of the balcony soffits, particularly those on the Lordship Lane corner.	Comments noted. Further analysis of and refinement to this corner feature has occurred to reflect these comments the corner element on Lordship Lane would have a chamfered corner with a brick indent and a terracotta precast sill.
This corner would benefit from a more confident expression, and the panel would encourage exploration of different materials, more detailed brickwork, and/or the addition of an element of decoration.	The applicant has considered a range of designs for this corner feature and the design option included within the submitted development proposal is the preferred option of the Council's Design Officer and the QRP. The height of the corner cannot increase to ensure local heritage assets are protected.
The developing architecture and materiality have the potential to work well, with the specification of high-quality materials and carefully considered detail design.	Comments noted. The detailed design and materiality will be secured through an appropriately worded planning condition.
As part of this process, careful thought should be given to the location of the rooftop	PV panels would be accessed via roof level access points. The applicant has provided

photovoltaic panels and their ongoing maintenance. The aim should be to avoid visibility of the panels and/or any safety railings required to meet Health and Safety regulations.	assurances that the plant layout at roof level is accurate, and that no plant installations will be visible from surrounding streets. Detailed drawings to ensure this will be secured by condition.
Landscape design and parking	
The panel applauds the retention of mature trees on The Roundway, with enhanced planting, and similar attention to the landscape setting of the scheme on Church Lane.	Comments noted.
Because of this, it strongly supports the proposed location of the blue badge car parking on Church Lane. This allows space for trees and planting which will both enhance the streetscape, and quality of life for residents.	Comments noted.
Ground floor use	
The panel agrees with the decision to provide non-residential uses at ground floor level facing The Roundway.	Comments noted.
This is currently shown as workspace / retail on the plans. However, retail may not be successful given the low pedestrian footfall and the lack of car parking in the area.	Comments noted. The commercial spaces on Roundway shall be secured as flexible spaces within Class E which allows for exploration of different commercial options prior to occupation.
A restaurant or cafe may be more viable than retail and could also enliven the corner facing Lordship Lane.	Comments noted. There is flexibility for potential restaurant/café uses to be provided if there is demand through the flexible Class E use class.
Tenure	
The panel recommends that Block D is allocated to private sale units, to ensure that all potential occupants have a choice as to whether they live adjacent to the Shell Petrol Station car wash.	Block D would include private sale units, as would Blocks A and C. Block B would be for the affordable homes.

- 6.51 As set out above, the applicant has sought to engage with the QRP during the pre-application stage. The development proposal submitted as part of this application has evolved over time to respond to the detailed advice of the panel. It is considered the points raised by the QRP have been addressed to an appropriate extent.

Assessment

- 6.52 The existing depot site is in significant need of improvement. It consists of a number of derelict car repair workshops and yards. The site characteristics change significantly from one side of the site to the other, with Lordship Lane and The Roundway being

part of a wide and busy main road (A10) and Church Lane having a narrow street width with very low levels of vehicle traffic.

Layout

- 6.53 The Council's Design Officer notes that the proposed development is laid out in the form of modest mansion blocks, with commercial uses on the ground floor fronting The Roundway and residential properties above. Blocks C and D to the northern part of the site would be separated from Blocks A and B to the south by a new public route which would cut across the site east to west. This route provides access benefits to the development, as ground floor properties would be accessed directly from it, and also improves local street permeability for pedestrians and cyclists. The alignment of this route would provide glimpsed views of Bruce Castle from the western access point to the route from The Roundway and would shorten routes from The Roundway to Bruce Castle Park. The route would be gated at night and management controls would be secured by condition.



Height, Bulk and Massing

- 6.54 The Council's Design Officer notes that the development would be four storeys in height with a set-back fifth storey when viewed from The Roundway and Lordship Lane and would have a lower three storey appearance, with a substantially recessed fourth floor behind it, when viewed from Church Lane. This represents a modest step up from the existing built form on Lordship Lane at the junction with The Roundway which includes three storey terraced properties with roof elements above. The substantial width of The Roundway means it has potential to accommodate a building greater than four storeys without compromising local residential amenity. On The Design Officer advises that the Roundway street frontage the strong elongated street frontage would make best use of the urban form in the area, with the mass of the building being reduced in local views through the integration of strong rhythm of window apertures, a wide recessed balcony and strong recessed downpipe features. The depth of the recesses at roof level would vary which reduces the bulk and massing of the building further.



- 6.55 The Design Officer notes that on Church Lane the scale is more restrained with the three storey height being a slight step up from the street frontage which features two storey and double-height commercial buildings. Opposite the site Bruce Castle Museum is a three storey building, parts of which feature large additional roof elements. As such, the development is a comparable height to this existing building. The bulk and massing of this elevation would be minimised through the integration of large and tall window apertures and a building frontage that varies in depth. The provision of a large tree-planted communal front garden of Church Lane would contribute to screening the bulk and mass of the buildings from local views on this road.



Detailed Design

- 6.56 The Council's Design Officer notes that the elevational treatment of the proposals is that of a restrained and polite brick-based architecture that would have a contemporary appearance that references and is compatible with its surrounding context. In particular, the two storey Peabody Cottages houses, the late nineteenth and early twentieth century larger houses in the locale, the nearby Elmhurst pub on Lordship Lane, the mansion blocks on Lordship Lane, and the Georgian and Victorian buildings of Church Lane, are all an influence on the proposed development design. Window and recessed balcony proportions along The Roundway would be horizontal, offset by a strong vertical rhythm of bays defined by recessed slots for rainwater pipes, with larger windows and regularly spaced doors to the ground floor commercial units providing a highly active frontage and a base to the overall structure. The recessed top floor would have a darker, metallic finish, providing a clear 'top' that distinctively terminates the building's height. Where The Roundway meets Lordship Lane the development would turn the corner with a feature that includes deep

overhangs and recessed brick panels, which would provide a modest but distinct celebration of this street corner.

- 6.57 The Design Officer notes that the architecture of the Church Lane frontage subtly changes, via the new internal courtyard, to become more vertically proportioned and more relaxed. It would have an elegant form highlighted with detailed design elements including precast terracotta copings, intricate metalwork railings, blind window features, and walled and planted front gardens. Balconies would be visually permeable. They would be semi-recessed close to Church Lane and fully projecting across the planted garden area, bringing greater amounts of animation and passive surveillance onto Church Lane.



6.58 Public Realm Improvements

- 6.59 The new east-west connection would provide public access to an internal courtyard that would be fitted with new seating, tree planting and other landscaping. Grass verges on The Roundway would be planted and existing trees protected. On Church Lane a large communal garden would be provided and residential front gardens would be provided with tree and other planting that would introduce new verdant features into the street scene. Shared roof gardens would be provided with attractive, robust and durable hard and soft landscaping.
- 6.60 The public realm improvements around this site would be substantial and would add further to the high design quality of this proposed development.
- 6.61 The Design Officer notes that the development proposal provides a fantastic opportunity to improve local access to Down Lane Park and create a stronger link to the wider Lee Valley to the east. The continuation of Ashley Road improves connectivity for pedestrians and cyclists significantly. The alignment of the secondary 'residential lane' through the centre of the site is strongly supported as a means of further improving connectivity for local residents to the park and as a means through which to provide a sensitively designed and characterful 'mews style' residential street. The proposed landscaped strips along the northern and western edges of Park View Road would integrate the proposed development into the existing street grid whilst retaining existing mature trees, improving landscaping to those streets and providing a more spacious streetscape, and therefore are strongly supported.
- 6.62 The proposed park street would provide east-west pedestrian and cycle connectivity as well as a much improved and planted setting for Down Lane Park. The new routes have clear and unambiguous boundaries between public and private spaces, with the proposed blocks enclosing private communal courtyard gardens, and with ground floors animated with regularly spaced, frequent front doors to ground floor properties. The street layout is therefore considered to be an exemplary provision of robust and comprehensible spaces in accordance with current best practice.



- 6.63 The Design Officer notes both the public streets and private communal courtyards would be provided with attractive, robust and durable hard and soft landscaping. The overwhelming majority of existing trees, many of which are fine mature samples, would be retained and protected. New street trees would supplement the retained trees to provide a continuous street tree lining to the Park View Road and Down Lane Park edges.
- 6.64 The new streets and paths through and around the site would be appropriately landscaped, accommodating mixtures of herbaceous and evergreen plants to provide year-round greenery and street furniture to support clear routes to front doors.
- 6.65 The public realm improvements around this site would be substantial and would add further to the high design quality of this proposed development.
- 6.66 Summary
- 6.67 The proposed development would replace a former Council depot site which is no longer required in this location, and which currently has a highly limited and low quality relationship with the surrounding area, with a series of buildings of high-quality contemporary design would have a well-considered and polite architecture and would not appear excessively large in scale, bulk and massing in the local street scene. It would be provided with new tree and landscaped areas, would increase permeability of the site for pedestrians and cyclists and would also be surrounded by new public landscaped areas.
- 6.68 As such, the proposed development would not appear out of keeping with the surrounding area. The overall development would have a positive visual impact on the local built environment and would bring significant improvements to the local public realm including the significant benefits provided from the renewal of visually prominent vacant and derelict land.
- 6.69 The scheme has been reviewed twice by Haringey's Quality Review Panel the latter of which "found much to admire in the proposed design" with just a small number of suggested refinements, which have all since been successfully resolved or explained.
- 6.70 The Council's Design Officer also supports the development and has stated that: *"As a whole, the proposals represent a huge improvement on the current site and a more than acceptable residential-led development of the site, securing employment and a public route across the site, providing an appropriate neighbour to precious significant heritage assets, and good quality homes."*
- 6.71 As such, it is considered that the development is acceptable in design terms.

Heritage impact

Legal Context

- 6.72 There is a legal requirement for the protection of Conservation Areas. The legal position on the impact on these heritage assets is as follows, Section 72(1) of the Listed Buildings and Conservation Areas Act 1990 provides: "In the exercise, with respect to any buildings or other land in a conservation area, of any functions under or by virtue of any of the provisions mentioned in subsection (2), special attention shall

be paid to the desirability of preserving or enhancing the character or appearance of that area.” Among the provisions referred to in subsection (2) are “the planning Acts”.

- 6.73 Section 66 of the Act contains a general duty as respects listed buildings in exercise of planning functions. Section 66 (1) provides: “In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”
- 6.74 The *Barnwell Manor Wind Farm Energy Limited v East Northamptonshire District Council* case tells us that “Parliament in enacting section 66 (1) intended that the desirability of preserving listed buildings should not simply be given careful consideration by the decision-maker for the purpose of deciding whether there would be some harm, but should be given “considerable importance and weight” when the decision-maker carries out the balancing exercise.”
- 6.75 The judgment in the case of the Queen (on the application of *The Forge Field Society*) v *Sevenoaks District Council* says that the duties in Sections 66 and 72 of the Listed Buildings Act do not allow a Local Planning Authority to treat the desirability of preserving listed buildings and the character and appearance of conservation areas as mere material considerations to which it can simply attach such weight as it sees fit. If there was any doubt about this before the decision in *Barnwell*, it has now been firmly dispelled. When an authority finds that a proposed development would harm the setting of a listed building or the character or appearance of a conservation area or a Historic Park, it must give that harm considerable importance and weight.
- 6.76 The Authority’s assessment of likely harm to the setting of a listed building or to a conservation area remains a matter for its own planning judgment but subject to giving such harm the appropriate level of weight and consideration. As the Court of Appeal emphasised in *Barnwell*, a finding of harm to the setting of a listed building or to a conservation area gives rise to a strong presumption against planning permission being granted. The presumption is a statutory one, but it is not irrebuttable. It can be outweighed by material considerations powerful enough to do so. An authority can only properly strike the balance between harm to a heritage asset on the one hand and planning benefits on the other if it is conscious of the strong statutory presumption in favour of preservation and if it demonstrably applies that presumption to the proposal it is considering.
- 6.77 In short, there is a requirement that the impact of the proposal on the heritage assets be very carefully considered, that is to say that any harm or benefit needs to be assessed individually in order to assess and come to a conclusion on the overall heritage position. If the overall heritage assessment concludes that the proposal is harmful then that should be given “considerable importance and weight” in the final balancing exercise having regard to other material considerations which would need to carry greater weight in order to prevail.

Policy Context

- 6.78 London Plan Policy HC1 states that development proposals affecting heritage assets and their settings should conserve their significance. Local Plan Policy SP12 and Policy DM9 of the Development Management DPD set out the Council’s approach to the management, conservation and enhancement of the Borough’s historic

environment, including the requirement to conserve the historic significance of Haringey's heritage assets and their settings.

- 6.79 Policy DM9 of the DM DPD states that proposals affecting a designated or non-designated heritage asset will be assessed against the significance of the asset and its setting, and the impact of the proposals on that significance; setting out a range of issues which will be taken into account. It also states that buildings projecting above the prevailing height of the surrounding area should conserve and enhance the significance of heritage assets, their setting, and the wider historic environment that could be sensitive to their impact.

Local Heritage Context

- 6.80 The application site is located partly (12 Church Lane only) within the Bruce Castle Conservation Area (BCCA), which extends eastwards into Bruce Castle Park and to the north and south-east of the site. To the east of the site are the Bruce Castle Museum and Tower which are both Grade I Listed. The wall that is located between the Museum/Tower and the application site is Grade II Listed. The nursery which is adjacent to the site to the north is locally listed.
- 6.81 To the south of the site are several locally listed buildings on Lordship Lane, which includes the Elmhurst Public House (no. 129) at the corner with Broadwater Road. To the west of the site, the Peabody Cottages residential estate forms the Peabody Cottages Conservation Area.
- 6.82 Further to the north are the All Hallows Church and Vicarage Priory which are Grade II* Listed. The wall south of Bruce Castle Park is also Grade II Listed. To the north-west Risley Primary School is locally listed.

Assessment of Impact on Heritage Assets and their Setting

- 6.83 The setting of a heritage asset is defined in the glossary to the NPPF as: "the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral".
- 6.84 Section 16 of the NPPF states that, in determining applications, the following should be taken account of: (a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; (b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and (c) the desirability of new development making a positive contribution to local character and distinctiveness.
- 6.85 The NPPF continues to state that, when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). Any harm to, or loss of, the significance of a designated heritage asset should require clear and convincing justification. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

- 6.86 Furthermore, the NPPF states that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.
- 6.87 The application site is currently mostly unoccupied and derelict. It is highly prominent in local views, given its siting on the corner of Roundway and Lordship Lane. The low quality of the existing site's built form therefore currently has a significant negative impact on local heritage character and consequently on the setting of nearby heritage assets. The site contains a large warehouse building and yard at 12 Church Lane which is formally identified as a detractor to the Bruce Castle Conservation Area.
- 6.88 The proposed development would introduce significant change to the setting of several heritage assets, most significantly the Grade I Listed Bruce Castle and Tudor Tower, the Bruce Castle and Peabody Cottages Conservation Areas, and locally listed buildings on Church Lane, Lordship Lane and the Roundway.
- 6.89 The height of the building would be two storeys greater than the majority of the surrounding townscape, given that most buildings in the area are of two storeys plus roof, whereas the proposed building is a maximum of four storeys plus a set-back fifth roof storey. The proposed building would have a continuous mass and scale that would increase its visual prominence in local views. The applicant undertook a detailed analysis of local views (as shown in the submitted *Built Heritage & Townscape Visual Impact Assessment*) at pre-application stage and different design iterations were presented to the Council for review at that stage. The scale and massing of the development as currently proposed was considered to minimise the impact on heritage assets whilst enabling enough residential units to be provided to ensure the development is financially viable (as well as meeting other relevant policy requirements).
- 6.90 The applicant has provided an analysis of key local views within a Built Heritage and Townscape Visual Impact Assessment submitted with the application. The increase in height and scale above existing heritage features in the area is particularly evident in Views 1 (Junction of Bruce Grove and Lordship Lane to Bruce Castle), 4 (Peabody Cottages) and 11 (Junction of Lordship Lane and The Roundway).



View 1: Junction of Bruce Grove and Lordship Lane

- 6.91 View 4 shows the impact the proposed building would have on the traditionally proportioned cottages of the Peabody Cottages Conservation Area (PCCA). The Council's Conservation Officer considers that the proposed development would appear prominent in views from the western end of the PCCA and would thereby detract from its special interest and setting. Views from within, and in certain areas (such as from Lordship Lane) of, Bruce Castle Park would also be affected as some parts of the proposed development would be visible in long and short views both above and behind Bruce Castle and its Tudor Tower. The proposed building would therefore detract to an extent from these landmark Grade I Listed buildings which are currently the most prominent buildings in the area from a heritage standpoint.



View 4: Peabody Cottages

- 6.92 The detailed design of the proposed development, in terms of its architecture and material finishes, is of a generally polite and unobtrusive contemporary building that responds to local heritage features. The building would be a substantial improvement on the appearance of the mostly vacant and derelict existing site, which has been an unsightly feature in the local built environment for a long time. The development would replace the low-quality building at 12 Church Lane, which is a detractor to the Bruce Castle Conservation Area, with a sensitively designed building that would improve the street scene on the whole of Church Lane.



View 11: Junction of Lordship Lane and The Roundway

- 6.93 The competing sensitivities of the various heritage assets in the local area means that producing a development that sufficiently respects and enhances each of these in turn is challenging. The proposed development is considered to have a significantly beneficial impact on the appearance of the application site. However, the Council's Conservation Officer considers that the proposed building is of a relatively simplistic contemporary architecture that fails to provide a sufficiently appropriate architectural language and detailing that would fully respond to the specific distinctiveness of all local heritage assets. However, the Quality Review Panel takes a different position, stating that there is 'much to admire in the design'. The QRP also state that 'the panel supports the scale of the proposals and welcomes the visually polite architecture which sites comfortably within the wider context.
- 6.94 Historic England are content for a decision on this application to be taken by the Council. The Council's Conservation Officer has assessed the proposal and a summary of their views is provided below:
- 6.95 *"Due to the height, mass and scale of the proposed development but also the proposed architectural language and detailing, it is considered that the proposal would detract from the surrounding built historic environment, particularly the Bruce Castle Conservation Area, the Bruce Castle and Tudor Tower and the Peabody Cottages Conservation Area. On balance, the harm that would be caused to the built historic*

environment is considered to be towards the moderate level of the less than substantial harm scale.”

Heritage Impact Summary

- 6.96 Noting that the Conservation Officer finds a moderate level of less than substantial harm the NPPF sets out that where there is less than substantial harm to the significance of heritage assets *“this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”*
- 6.97 In terms of whether this proposal provides the optimum viable use, the development would provide new housing, including a proportion of affordable housing, and new commercial space that would provide an uplift in the number and quality of jobs on site. It would be in general accordance with the requirements of Site Allocation SA63 including the provision of improved connectivity through an east-west pedestrian and cycle link. It would regenerate a mostly derelict and vacant site that has been a prominent unsightly feature in the local built environment for a long time. Therefore, given a balanced assessment of the proposal’s heritage impact against its wider benefits to the local community, it is considered that the proposal would be acceptable in heritage conservation terms.
- 6.98 The Conservation Officer notes that it is possible that additional heritage impact could result from the size, siting and design of future roof level plant machinery and equipment which is not shown in detail on the submitted viewpoint imagery. To ensure that the development’s impact on the local heritage environment is limited a condition would be secured for details of how any plant machinery and equipment would appear in key heritage views to ensure they would not have a detrimental impact on heritage assets and their respective settings.

Archaeology

- 6.99 Policy HC1 of the London Plan states that development proposals should identify assets of archaeological significance and use this information to avoid harm or minimise it through design and appropriate mitigation. Policy DM9 of the DM DPD states that all proposals will be required to assess the potential impact on archaeological assets and follow appropriate measures thereafter in accordance with that policy.
- 6.100 The Greater London Archaeological Advisory Service (GLAAS) has been consulted on this application and advises that an archaeological investigation is not required.
- 6.101 As such, the proposed development would be acceptable in terms of its impact on heritage assets.

Residential quality

- 6.102 The Nationally Described Space Standards set out the minimum space requirements for new housing. The London Plan 2021 standards are consistent with these. London Plan Policy D6 requires housing developments to be of high-quality design, providing comfortable and functional layouts, benefiting from sufficient daylight and sunlight, maximising the provision of dual aspect units and providing adequate and easily accessible outdoor amenity space. It provides qualitative design aspects that should be addressed in housing developments.

- 6.103 The Mayor of London's Housing SPG seeks to ensure that the layout and design of residential and mixed-use development should ensure a coherent, legible, inclusive and secure environment is achieved. Standard 29 of the SPG requires the number of single aspect homes to be minimised, with north-facing single aspect properties avoided. Policy DM1 requires developments to provide a high standard of amenity for its occupiers.

General Residential Quality

- 6.104 In general terms, the development has a high-quality layout and residential standard, having been through a rigorous design process including several Quality Review Panels. All homes would meet the internal space and amenity space standards requirements of the London Plan. 80% of the proposed homes would be dual aspect and no single aspect homes would be north facing. All homes would have access to the two communal amenity areas at roof level and the communal courtyard. Bruce Grove Park provides further amenity space adjacent to the site.
- 6.105 Entrance cores would be located to minimise walking distances to the front doors of the proposed flats. There are less than eight homes per core in line with Standard 12 of the Housing SPG.
- 6.106 The applicant has also confirmed that all homes would be able to access full fibre broadband connectivity in accordance with the requirements of the site allocation and this would be secured by condition.

Daylight, Sunlight and Overshadowing

- 6.107 A *Daylight & Sunlight* report has been submitted with the application. In terms of daylight just two (1%) of 193 windows tested would fail to comply with the BRE guidelines for average daylight factor. This is a very good level of daylight provision.
- 6.108 The orientation of the proposed development on a north-south axis means that there would be many windows that fall below the required sunlight levels. The BRE guidance accepts that such windows may be discounted from analysis as they fall within ninety degrees of due south, which means that sunlight is only available in these areas for a short period as the sun rises or sets. Excluding rooms with windows affected in this way, only seven rooms within the development fall below the BRE standards for annual probably sunlight hours. This is just 3% of the 193 rooms analysed, which represents a good level of sunlight provision.

Outlook and Privacy

- 6.109 Most homes would have unrestricted outlook across Church Lane, The Roundway or the proposed internal courtyard. The layout of the development means that there no direct overlooking between habitable room windows of the new homes.

Air Quality and Noise

- 6.110 The development would be located close to the A10 which heads west then north from Bruce Grove via Lordship Lane and The Roundway. The submitted *Air Quality Assessment* (AQA) has not directly monitored the air quality levels associated with The Roundway, and instead it has used existing modelling data from 639 High Road.

Although this is also a busy road location it is possible that air quality data between these two sites could differ, given the greater prominence in the strategic road network of the A10. The Council's Pollution Officer has commented on this point and recommends that a further air quality assessment is required to ensure that the mitigation measures proposed are sufficient. Further air quality analysis and mitigation measures is required and can be secured by condition.

- 6.111 Notwithstanding this point, the AQA acknowledges that the air quality objectives for all homes would be met according to current predictions for the year 2027. The AQA also points out that these predictions are considered worst-case scenarios as future air pollution levels are very likely reduce further beyond those predicted levels due to the rapidly increasing adoption of electric vehicles allied to many other local, regional and national Government initiatives that aim to promote walking, cycling and reduced use of petrol and diesel vehicles.

- 6.112 Policy D13 of the London Plan places the responsibility for mitigating impacts from existing noise and nuisance generating activities onto the proposed new noise-sensitive development. The development would be located adjacent to the Shell petrol station. The pumps at the petrol station are likely to emit some benzene fumes. The *Local Air Quality Management Technical Guidance document (Defra, 2021)* states that there is no concern regarding residential exposure to benzene if homes are more than 10 metres of the petrol pumps. All proposed dwellings would be at least 13 metres from the existing pumps and in most cases this separation distance is much greater. Furthermore, it is considered that the risk of fire or explosion from petrol stations is low given that these facilities are governed by strict regulations to prevent such occurrences.

- 6.113 Noise impact on the proposed development from The Roundway and Lordship Lane would be mitigated by the provision of high insulation glazing. Mechanical ventilation equipment would be provided to these homes to ensure they don't overheat. The Spurz Autos garage and petrol station could create some adverse noise conditions, which would be mitigated through the same measures. There is a car wash located on the petrol station site close to the eastern boundary of the application site, which would be separated from the new homes by a boundary wall. Block D has been designed with its main amenity areas and habitable rooms on the western side of the development to minimise the impact on the living conditions of residents within that building.

- 6.114 Noise levels on balconies fronting The Roundway and Lordship Lane, and overlooking the car wash, would be high. Affected flats would be able to access multiple alternative amenity spaces both within the development (at roof level or in the central courtyard) as well as in the adjacent Bruce Castle Park.

- 6.115 Therefore, given that future air quality levels in the area would be suitable and given anticipated future additional improvements in air quality it is considered that the air quality for the homes within the development would be acceptable, subject to a condition that secures further air quality analysis and mitigation measures if required. It is also considered that the development would be acceptable in terms of its noise mitigation measures.

Children's Play Space

- 6.116 Policy S4 of the London Plan seeks to ensure that all children and young people have safe access to good quality play and informal recreation space, which is not segregated by tenure. At least 10 sqm per child should be provided to all qualifying developments. The Mayor's Child Play Space calculator estimates a total of 267sqm of play space would be required for this development.
- 6.117 Multi-generational play spaces totalling 294sqm would be provided within two roof garden areas, which exceeds the requirements described above. Details of the play space layout and equipment would be secured by condition.



Access and Security

- 6.118 NPPF paragraph 97 states that planning decisions should promote public safety and should take into account wider security requirements.
- 6.119 London Plan Policy D7 requires that 10% of new housing is wheelchair accessible and that the remaining 90% is easily adaptable for residents who are wheelchair users. Policy DM2 of the DM DPD requires new developments to be designed so that they can be used safely, easily and with dignity by all.
- 6.120 10% of the proposed homes would be wheelchair adaptable in accordance with Building Regulations requirement M4(3) and this would be secured by condition. All other dwellings would meet the accessible and adaptable homes requirements of M4(2).
- 6.121 An east-west pedestrian and cycle route would be provided through the centre of the development. Additional public realm including new pathways and planting would be provided around the development. All main residential entrances have been designed to be accessed directly from pedestrian routes. The new route through must be closed at night for security reasons and details of how this would be controlled would be secured by condition. Lighting would be provided around the development and details of this would be secured by condition.
- 6.122 The Designing Out Crime Officer of the Metropolitan Police has been consulted on this application and raises no objections subject to conditions.

- 6.123 As such, the overall residential quality of the proposed development is of a high quality and in accordance with the policies referenced above and is therefore considered to be acceptable.

Impact on neighbouring amenity

- 6.124 London Plan Policy D6 outlines that design must not be detrimental to the amenity of surrounding housing, and states that proposals should provide sufficient daylight and sunlight to surrounding housing that is appropriate for its context, while also minimising overshadowing. London Plan Policy D14 requires development proposals to reduce, manage and mitigate noise impacts.
- 6.125 Policy DM1 of the DM DPD states that development proposals must ensure a high standard of privacy and amenity for a development's users and neighbours. Specifically, proposals are required to provide appropriate sunlight, daylight and aspects to adjacent buildings and land, and to provide an appropriate amount of privacy to neighbouring properties to avoid material levels of overlooking and loss of privacy and detriment to amenity of neighbouring resident.
- 6.126 Policy SI1 of the London Plan states that development proposals should be air quality neutral. Policy DM23 states that developments should not have a detrimental impact on air quality, noise or light pollution.

Day and Sunlight, Outlook and Privacy

- 6.127 The proposed development would be located at least 25 metres from any neighbouring residential property. This substantial separation distance would ensure that no nearby residential properties would be significantly affected in terms of a loss of day/sunlight, outlook or privacy.
- 6.128 The application site is adjacent to a building currently in use as a nursery and the development has been designed with no balconies or windows facing towards the nursery or its rear amenity area.

Air Quality, Noise and Light Impact

- 6.129 The number of additional vehicle movements from the development would be low noting the high public transport accessibility of the site and given that no off-street parking would be available. As a predominantly residential development noise levels are also expected to be low. Ambient light levels from homes would not affect existing residents and lighting in general for the development would be controlled by condition. Construction disturbance from dust and noise would be adequately mitigated by condition.
- 6.130 As such, there would be no significant impact on neighbouring properties or the adjacent nursery.

Transport and parking

- 6.131 London Plan 2021 Policy T1 requires all development to make the most effective use of land, reflecting its connectivity and accessibility by existing and future public transport, walking and cycling routes, and to ensure that any impacts on London's

transport networks and supporting infrastructure are mitigated. Policies T4, T5 and T6 of the same document set out key principles for the assessment of development impacts on the highway network in terms of trip generation, parking demand and cycling provision.

- 6.132 Local Plan Policy SP7 states that the Council aims to tackle climate change, improve local place shaping and public realm, and environmental and transport quality and safety by promoting public transport, walking and cycling and seeking to locate major trip generating developments in locations with good access to public transport. This is supported by DPD Policy DM31. Policy DM32 states that the Council will support proposals for new development with limited on-site parking where the site PTAL is at least 4, where a controlled parking zone exists, where public transport is available, where parking is provided for disabled people and where the development can be designated as 'car capped'.
- 6.133 The site has a maximum PTAL of 5 and is located within the Tottenham Event Day Controlled Parking Zone operating on event days only Monday-Friday 5pm to 8.30pm, plus Saturday, Sunday and Public Holidays midday to 8pm.
- 6.134 A Stage 1 Road Safety Audit was carried out to assess the proposed development's impact on the local highway and recommended changes were integrated into the design and layout of the scheme.

Assessment

Access

- 6.135 Pedestrian access to the development would be available from both the Roundway and Church Lane. An east-west route through the site is proposed, which would improve local permeability. The width of the passage at the eastern end is not specified on the plans and scales to less than 2 metres. There is scope within the design to improve the visibility and accessibility for users of this pathway by expanding the width of the eastern entrance either to the south, following future discussions with National Grid, or to the north through a reduced garden area for the flat immediately adjacent to the north. These options should be explored further and this can be secured through condition.

Servicing

- 6.136 Two loading bays of 12 metre length would service the development – one on The Roundway and one on Church Lane. Both bays could accommodate waste vehicle and large delivery vehicles. The bay on Church Lane requires 3 metres of clear space at either end to allow ease of access. The siting of these service bays is supported by the Council's Transportation Officer.

Vehicle Trip Generation

- 6.137 The site PTAL of 5 enables a low level of parking to be provided which would limit the impacts on proposed development on the highway network. The worst-case number of vehicle trips has been estimated from the proposed non-residential uses. The Council's Transportation Officer agrees that the development would result in a net reduction in vehicle trips on the local highway network.

Car Parking

- 6.138 The development would be car free as no parking is proposed on the development site. Four wheelchair-accessible parking spaces would be provided on-street instead of on the site. Whilst there is technically space available for wheelchair user parking on-site this has instead been provided as a communal landscaped garden which has visual and amenity benefits for the local area and the residents of the new development.
- 6.139 The number of wheelchair-accessible parking spaces meets the London Plan requirement for 3% accessible parking to be provided on commencement of the development. However, as these would be located off-site they cannot be allocated to the users of the proposed development. As such, although the provision of new wheelchair-accessible parking spaces in a convenient location (immediately outside the development on Church Lane) for wheelchair users of the development is a benefit of the proposal it cannot be considered policy-compliant in terms of meeting the requirements of Policy T6.1 of the London Plan as these spaces cannot be allocated to the specific users of the proposed wheelchair user homes and would instead be accessible by any 'Blue Badge' holder.
- 6.140 The proposed development would not qualify for a car-capped status in accordance with Policy DM32 of the Development Management DPD, which prevents occupiers of the development from being given on-street parking permits, as the CPZ within which the application site is located relates to 'event day' restrictions only. Parking is freely available to be used at all other times and as such any permit restrictions would be ineffective.
- 6.141 The Transport Assessment submitted with the application assumes that the development would be car capped which would entirely restrict parking in the local area. As this is not possible the parking demand from the development is therefore considered to have been underestimated. It is anticipated that 76 new homes would generate parking demand for up to 33 cars, which would need to be accommodated on local streets. The applicant has undertaken an on-street parking survey and the results presented show that there is ample space within local streets to accommodate the predicted overspill parking from this development without exceeding the 85% parking occupancy threshold.
- 6.142 To summarise, the on-street parking impact of the development would be acceptable despite no cap on residential parking levels. The provision of wheelchair-accessible parking on-street does not meet the requirements of Policy T6.1 of the London Plan as it would not be allocated to the wheelchair users of this development. However, given that wheelchair user parking would be located immediately adjacent to the site, given that the number of spaces provided (4) would exceed the minimum requirement for wheelchair-accessible parking spaces for this development (3) and given the wider visual amenity benefits in this heritage-sensitive location of providing a soft landscaped and tree-planted zone instead, it is considered on balance that the provision of off-site wheelchair parking is acceptable in this case.
- 6.143 Reductions on the anticipated on-street parking levels would be secured through sustainable transport methodologies including access to a car club and travel plans. These can be secured by condition.

Cycle Parking and Infrastructure

- 6.144 Cycle parking would be provided throughout the site in dedicated secure cycle stores. Additional 'short stay' publicly accessible cycle parking would be available within the public realm areas. The amount of cycle parking must include 5% cycle parking for larger cycles and this would be secured by condition. An additional condition would ensure that the cycle parking is in accordance with London Plan minimum cycle standards.
- 6.145 The lack of car capping for this development given the 'event day' nature of the local CPZ means that a significant increase in local on-street parking would be expected. Much of this is expected to be accommodated on Church Lane. The provision of four new parking spaces and a loading bay (in place of three parking spaces and two vehicle access points) on Church Lane would also further increase vehicle activity on that road and contribute to a reduction in space for cyclists to safely find refuge if required when vehicles are passing (southerly direction only as this street is one-way). Church Lane is part of Cycle Superhighway 1 and the cycle lane is contraflow in this area. As such, it is an important piece of Haringey's cycling infrastructure. The Council's Transportation Officer has objected to the development on the ground of a detrimental impact on cycle infrastructure.

Construction Works

- 6.146 No outline construction logistics plan has been submitted with the application. As such, a detailed construction logistics plan would be secured by condition.

Summary

- 6.147 The Council's Transportation Officer has assessed this application and has raised an objection regarding the potential reduction in highway safety that could occur from the increased on-street parking on Church Lane and also regarding the lack of on-site wheelchair-accessible parking. It is considered that, although the provision of wheelchair parking on-street is less ideal than on-site parking there are significant benefits both with regard to optimising development on the site and the visual appearance of the development in this case including the introduction of a verdant feature into the currently harsh street frontage and the creation of a more domestic character within this sensitive heritage environment that would outweigh the negative impacts in this case. As regards, the safety of the cycle route, it is noted that Transport for London were consulted on this matter and raised no objections. A Road Safety Audit was submitted with the application which identified that 3 metre refuge spaces would be available both north and south of the loading bay (and indeed within the loading bay when not in use) and between the northern most parking bay and those parking bays outside the nursery to the north of the site. As such, given that TfL have not objected and given that there would still be several refuge spaces retained on the highway, it is considered that the impact on the cycle infrastructure would not be significant enough in this case to constitute a reason for refusal on this ground, also noting the other significant benefits of the scheme.
- 6.148 As such, it is considered that the application is acceptable in transport and parking terms, and in terms of its impact on the public highway.

Urban greening and ecology

Policy Context

- 6.149 London Plan Policy G4 states that development proposals should not result in the loss of open space. Policy G5 requires major development proposals to contribute to the greening of London by including urban greening as a fundamental element of site and building design. Residential developments should meet a target urban greening factor of 0.4.
- 6.150 Policy SP13 of the Local Plan seeks to protect and improve open space and provide opportunities for biodiversity and nature conservation. Policy SP11 promotes high quality landscaping on and off-site.
- 6.151 DPD Policy DM1 requires proposals to demonstrate how landscape and planting are integrated into the development and expects development proposals to respond to trees on or close to a site. Policy DM21 requires proposals to maximise opportunities to enhance biodiversity on-site.

Urban Greening Factor

- 6.152 The existing site is mostly covered in hardstanding. The proposed development would include soft landscaping on site within a central courtyard and two roof level communal amenity areas including new tree planting, species rich planting and green roofs, which would significantly increase the ecology and biodiversity on site. New areas of planting would also be provided off-site, fronting The Roundway. The details of the landscaping provision can be secured by condition to secure a high-quality scheme with effective long-term management.



- 6.153 The landscape proposals described above have been designed to provide an urban greening factor of 0.4, which meets the policy requirements of London Plan Policy G5. Exact details of how this urban greening factor would be provided and maintained would be secured by condition.

Trees

- 6.154 The existing site includes two low quality trees which would be removed. 22 new trees would replace these which is a net increase of twenty on site. The four large London Plane trees adjacent to the site on The Roundway would be retained and fully protected during the construction process. The tree planting would be provided throughout the development including within the central courtyard and roof level amenity areas. There would be a landscaped garden fronting onto Church Lane which would include several trees.
- 6.155 The Council's Tree Officer agrees with the findings of the submitted *Arboricultural Impact Assessment Report* and raises no objections to the proposed development subject to conditions.

Ecology and Biodiversity

- 6.156 As the site is currently covered with buildings and hardstanding the proposed landscaping scheme would result in a biodiversity net gain of 86%. Brown and green roofs would be installed. Amenity planting would include both native and non-native planting to ensure nectar is provided for insects. The site holds negligible suitability for bat roosting and adjacent trees show no sign of bat roosting. Bird and bat boxes would be provided on the proposed development.
- 6.157 The Council's Nature Conservation Officer has confirmed that the ecological measures and proposed mitigation and enhancement measures are supported subject to conditions.
- 6.158 Therefore, it is considered that the proposed development is acceptable in terms of its landscaping and urban greening, its protection and additional planting of trees, and its ecology and biodiversity impact.

Carbon reduction and sustainability

- 6.159 The NPPF requires development to contribute to the transition to a low carbon future, reduce energy consumption and contribute to and conserve the natural environment.
- 6.160 London Plan Policy SI2 states that major developments should be zero carbon, and in meeting the zero-carbon target a minimum on-site reduction of at least 35 per cent beyond Building Regulations is expected. Local Plan Policy SP4 requires all new developments to introduce measures that reduce energy use and carbon emissions. Local Plan Policy SP11 requires all development to adopt sustainable design and construction techniques to minimise impacts on climate change and natural resources.
- 6.161 DPD Policy DM1 states that the Council will support design-led proposals that incorporate sustainable design and construction principles and Policy DM21 expects new development to consider and implement sustainable design, layout and construction techniques.

Carbon Reduction

- 6.162 The applicant has submitted an Energy Strategy in support of this application. Photovoltaic panels would be provided on building roofs. The development would also be provided with air source heat pumps. Commercial units would achieve BREEAM 'very good' ratings.
- 6.163 The overall predicted reduction in carbon dioxide emissions for the proposed development shows a reduction of 60% from the 2013 Building Regulations baseline model. This represents an annual saving of approximately 48.8 tonnes of carbon per year. 31.99 tonnes a year must be offset through a financial contribution of £91,171.50 (plus a management fee) which can be secured through legal agreement.
- 6.164 Payment of this contribution can be partially deferred dependent on the applicant's further investigations as to whether the development can connect to the Council's future district heating network that is expected to be installed in proximity to the site in the future. This can be secured through legal agreement and condition as appropriate.

Overheating

- 6.165 London Plan Policy SI4 requires developments to minimise adverse impacts on the urban heat island, reduce the potential for overheating and reduce reliance on air conditioning systems. Through careful design, layout, orientation, materials and incorporation of green infrastructure, designs must reduce overheating in line with the Cooling Hierarchy.
- 6.166 Both commercial spaces pass overheating modelling requirements with windows closed and active cooling which is permitted here due to the close proximity to main roads. Future overheating of the development can be assessed further by condition, with mitigation measures secured as appropriate at that stage.

Summary

- 6.167 The proposal satisfies development plan policies and the Council's Climate Change Officer supports this application subject to the conditions and planning obligations. As such, the application is considered acceptable in terms of its carbon reduction and sustainability.

Flood risk and water management

- 6.168 London Plan Policy SI12 states that flood risk should be minimised and Policy SI13 states that development proposals should aim to achieve greenfield run-off rates with water managed as close to source as possible.
- 6.169 Local Plan Policy SP5 and Policy DM24 of the DM DPD seek to ensure that new development reduces the risk of flooding and provides suitable measures for drainage. The site is located within a ground water source protection zone and Flood Zone 1.
- 6.170 Both roof level (blue, green and brown roofs) and below ground water tank retention methodologies would be implemented. Surface water run-off would be at greenfield rates. Surface water attenuation would be provided on site to accommodate a one-in-100-year event with a 40% allowance for climate change. Surface water infiltration has been excluded to avoid impact to the nearby secondary groundwater aquifers.

- 6.171 The Council's Flood & Water Management Lead Officer has stated that the drainage proposals are acceptable subject to conditions. The Environment Agency have reviewed this application and have not objected from a flood risk and groundwater protection standpoint.
- 6.172 The new homes would incorporate water efficient fittings to limit water use to 105 litres per person per day. The commercial units will incorporate measures to improve water efficiency. This can be secured by condition.
- 6.173 The Moselle River runs in a culvert under Lordship Lane. The Environment Agency has confirmed that the distance of the culvert from the proposed development is significant enough to not require further investigation at this stage.
- 6.174 Thames Water has been consulted on this application and has raised no objections to this proposal, subject to conditions.
- 6.175 As such, the proposed development is considered acceptable in terms of its risk of flooding and water management arrangements.

Land contamination

- 6.176 Policy DM23 of the Development Management DPD requires proposals to demonstrate that any risks associated with land contamination can be adequately addressed to make the development safe.
- 6.177 A Desk Study Report has been submitted with the application. The report acknowledges that significant potential sources of contamination have been identified associated with the site's historical and potentially contaminative land uses. Risk in this regard would be mitigated through a range of measures including the use of physical barriers, cover systems, membranes and contaminant resistant water supply infrastructure. There is a moderate risk to groundwater given the nearby presence of a secondary groundwater aquifer.
- 6.178 The Council's Pollution Officer has reviewed the submitted documentation and raises no objections to the findings of the above referenced report. Conditions are recommended to secure an intrusive site investigation and risk assessments prior to the commencement of any development. Remediation of contamination shall occur in accordance with the recommendations of the investigations.
- 6.179 Therefore, the proposed development is considered acceptable in terms of its land contamination risks, subject to conditions.

Fire safety

- 6.180 Policy D12 of the London Plan states that all development proposals must achieve the highest standards of fire safety. To this effect major development proposals must be supported by a fire statement.
- 6.181 The *Fire Strategy Report* submitted with the application confirms that all residential units and ancillary areas, plus the commercial units, would be fitted with sprinkler systems. Each building would be fitted with a dry riser inlet. Fire service vehicles would be able to park within 18 metres of each residential block. All buildings would have

protected fire escape stairs. The Council's Building Control Officer has reviewed the submitted fire safety information and raised no objections.

- 6.182 As such, the proposed development is considered acceptable in respect of its fire safety provision, subject to further details being secured by condition.

Conclusion

- 6.183 The proposed development would meet the requirements of Site Allocation SA63 by providing a mixed-use residential and commercial development and an east-west pedestrian and cycle route on this vacant and derelict site.
- 6.184 The development would provide 76 new homes including 13 affordable homes (21% by habitable room), including nine three-bedroom homes (12%). This is the maximum reasonable of affordable housing and provides a satisfactory mix of unit sizes..
- 6.185 The development would include new Class E commercial floorspace fronting onto Roundway that would provide a significant uplift in the number and quality of jobs on site.
- 6.186 The development would be of a high-quality design that would substantially improve the appearance of the existing vacant and derelict site and would respect the visual quality of the local area. The development has general support from the Council's Quality Review Panel.
- 6.187 The public benefits that would arise from the provision of a significant number of new housing and affordable housing units, substantial improvements in the visual quality of this long-term derelict and vacant site and its associated public realm improvements, and the provision of improved local connectivity to and from Bruce Castle Park via the new east-west route are considered to outweigh the development's moderate level of less than substantial harm to the significance of local heritage assets..
- 6.188 The development would provide high-quality residential accommodation of an appropriate size, mix and layout within a well-landscaped environment, and would also provide new amenity and children's play spaces of an appropriate size and functionality.
- 6.189 The development would not have a material negative impact on the occupiers of nearby residential properties in respect of a loss of sunlight and daylight, outlook or privacy, nor in terms of excessive levels of noise, light or air pollution.
- 6.190 The development would include four on-street wheelchair-accessible car parking spaces and other sustainable transport initiatives would be secured including access to a car club and high-quality cycle parking.
- 6.191 The development would achieve an 60% reduction in carbon emissions through a range of measures to maximise its sustainability and minimise its carbon emissions. The development would achieve a suitable urban greening factor and would result in a net gain in biodiversity on the site.

6.192 All other relevant policies and considerations, including equalities, have been taken into account. Planning permission should be granted for the reasons set out above. The details of the decision are set out in the RECOMMENDATION

7. COMMUNITY INFRASTRUCTURE LEVY

7.1.1 Based on the information given on the submitted CIL form the Mayoral CIL charge will be £435,014.52 (7,207sqm x £60.36) and the Haringey CIL charge will be £337,096 (6,741.92sqm x £50).

7.1.2 The CIL charge will be collected by Haringey from commencement of the development and could be subject to surcharges for failure to assume liability, for failure to submit a commencement notice and/or for late payment, and subject to indexation in line with the RICS CIL Index. Relief on the CIL payment relating to the affordable housing element of the scheme must be sought prior to the first commencement of the development.

7.1.3 An informative will be attached advising the applicant of the CIL charge.

8. RECOMMENDATION

GRANT PERMISSION subject to conditions in Appendix 1

Registered No. HGY/2022/0967

Applicant's drawing No.(s):

211_GA_01 to 04, 10 to 14; 2111_HL_01 to 04; 2111_SL_01 to 04; 2111_UGF_01; 2242-GHA-XX-XX-DR-A-(20)400 to 403; 2242-GHA-ZZ-00-DR-A-(05)100 Rev. P02, 01-DR-A-(05)101, 02-DR-A-(05)102, 03-DR-A-(05)103, 04-DR-A-(05)104, RL-DR-A-(05)105; 2242-GHA-ZZ-ZZ-DR-A-(05)001; 2242-GHA-ZZ-ZZ-DR-A-(05)002; 2242-GHA-ZZ-ZZ-DR-A-(05)010; 2242-GHA-ZZ-ZZ-DR-A-(05)011; 2242-GHA-ZZ-ZZ-DR-A-(05)200 Rev. P01; 2242-GHA-ZZ-ZZ-DR-A-(05)201 Rev. P01; 2242-GHA-ZZ-ZZ-DR-A-(05)300; 2242-GHA-ZZ-ZZ-DR-A-(05)301; 2242-GHA-ZZ-ZZ-DR-A-(05)310 Rev. P01; and 2242-GHA-ZZ-ZZ-DR-A-(05)311 Rev. P01.

Supporting documents also approved:

Affordable Housing Officer letter dated 28th March 2022, Statement of Community Involvement, Planning Statement, Construction Phase Environmental, Health and Safety Management Plan, Noise Impact Assessment, Air Quality Assessment, Design & Access Statement (by Glenn Howells Architects), Desk Study Report, Day & Sunlight Report, Flood Risk Assessment and Drainage Statement Rev. A, Preliminary BREEAM Report, Energy Strategy V2.0, Overheating Assessment, Fire Strategy Report, Fire Statement Form, Archaeological Desk Based Assessment, Built Heritage and Townscape Visual Impact Assessment, Transport Assessment, Arboricultural Impact Assessment Report, Ecological Impact Assessment, Biodiversity Net Gain Report, Design & Access Statement (by Campbell Codey), Financial Viability Assessment Report, Stage 1 Road Safety Audit.

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Appendix 1 – Conditions and Informatives

Conditions

- 1) The development hereby authorised must be begun not later than the expiration of three years from the date of this permission, failing which the permission shall be of no effect.

Reason: This condition is imposed by virtue of Section 91 of the Town and Country Planning Act 1990 and to prevent the accumulation of unimplemented planning permissions.

- 2) The development hereby permitted shall be carried out in material compliance with the following approved plans and specifications:

211_GA_01 to 04, 10 to 14; 2111_HL_01 to 04; 2111_SL_01 to 04; 2111_UGF_01; 2242-GHA-XX-XX-DR-A-(20)400 to 403; 2242-GHA-ZZ-00-DR-A-(05)100 Rev. P02, 01-DR-A-(05)101, 02-DR-A-(05)102, 03-DR-A-(05)103, 04-DR-A-(05)104, RL-DR-A-(05)105; 2242-GHA-ZZ-ZZ-DR-A-(05)001; 2242-GHA-ZZ-ZZ-DR-A-(05)002; 2242-GHA-ZZ-ZZ-DR-A-(05)010; 2242-GHA-ZZ-ZZ-DR-A-(05)011; 2242-GHA-ZZ-ZZ-DR-A-(05)200 Rev. P01; 2242-GHA-ZZ-ZZ-DR-A-(05)201 Rev. P01; 2242-GHA-ZZ-ZZ-DR-A-(05)300; 2242-GHA-ZZ-ZZ-DR-A-(05)301; 2242-GHA-ZZ-ZZ-DR-A-(05)310 Rev. P01; and 2242-GHA-ZZ-ZZ-DR-A-(05)311 Rev. P01.

Supporting documents also approved:

Affordable Housing Officer letter dated 28th March 2022, Statement of Community Involvement, Planning Statement, Construction Phase Environmental, Health and Safety Management Plan, Noise Impact Assessment, Air Quality Assessment, Design & Access Statement (by Glenn Howells Architects), Desk Study Report, Day & Sunlight Report, Flood Risk Assessment and Drainage Statement Rev. A, Preliminary BREEAM Report, Energy Strategy V2.0, Overheating Assessment, Fire Strategy Report, Fire Statement Form, Archaeological Desk Based Assessment, Built Heritage and Townscape Visual Impact Assessment, Transport Assessment, Arboricultural Impact Assessment Report, Ecological Impact Assessment, Biodiversity Net Gain Report, Design & Access Statement (by Campbell Codey), Financial Viability Assessment Report, Stage 1 Road Safety Audit.

Reason: In order to avoid doubt and in the interests of good planning.

- 3) Notwithstanding the provisions of the Town & Country Planning (Use Classes) Order 1987, or any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order, the ground floor non-residential units hereby approved shall be used for activities within Use Class E or Use Class F1 only and shall not be used for any other purpose unless approval first is obtained to a variation of this condition through the submission of a planning application.

Reason: In order to restrict the use of the premises to those compatible with the surrounding area.

- 4) Prior to the commencement of above ground works, detailed drawings (including sections) to a scale of 1:20 to confirm the detailed design and materials of the:
 - a) Detailed elevational treatment;
 - b) Detailing of roof and parapet treatment;

- c) Windows and doors (including plan, elevation and section drawings indicating jamb, head, cill, reveal and surrounds of all external windows and doors at a scale of 1:10), which shall include a recess of at least 115mm;
- d) Details of entrances and porches which shall include a recess of at least 115mm;
- e) Details and locations of down pipes, rainwater pipes or foul pipes and all external vents;
- f) Details of balustrading;
- g) Facing brickwork: sample panels of proposed brickwork to be used showing the colour, texture, pointing, bond, mortar, and brickwork detailing shall be provided;
- h) Details of cycle, refuse enclosures and plant room; and
- i) Any other external materials to be used;

together with a full schedule of the exact product references for all materials shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be carried out solely in accordance with the approved details.

Reason: To safeguard and enhance the visual amenities of the locality in compliance with Policies DM1, DM8 and DM9 of the Development Management Development Plan Document 2017.

- 5) Exact details of the size, scale, location, street level visibility and visibility in key local views of any roof level mechanical plant and machinery required for the building's ongoing operation, shall be submitted to the Local Planning Authority prior to the commencement of above ground works. The development shall thereafter be carried out solely in accordance with the approved details and retained/maintained as such thereafter.

Reason: To safeguard and enhance the visual amenities of the locality in compliance with Policies DM1 and DM9 of the Development Management Development Plan Document 2017.

- 6) a) Prior to the commencement of above ground works of each building or part of a building, details shall be submitted to and approved, in writing, by the Local Planning Authority to demonstrate that such building or such part of a building can achieve 'Secured by Design' Accreditation. Accreditation must be achievable according to current and relevant Secured by Design guidelines at the time of above grade works of each building or phase of said development.

b) Prior to the first occupation of each building or part of a building or its use, 'Secured by Design' certification shall be obtained for such building or part of such building or its use and thereafter all features are to be retained.

c) Commercial aspects of the development must achieve the relevant Secured by Design Accreditation at the final fitting stage, prior to residential occupation of such building in accordance with part (b) above and commencement of business. Details shall be submitted to and approved, in writing, by the Local Planning Authority.

The development shall only be carried out in accordance with the approved details.

Reason: To ensure the safety and security of the development and locality in accordance with Policy DM1 of the Development Management Development Plan Document 2017.

- 7) Prior to first occupation of the development hereby approved details of all external lighting to approved building facades, street furniture, communal and public realm areas shall be submitted to and approved in writing by the Local Planning Authority, in consultation with the Council's Senior Lighting Engineer. Such details shall include location, height, type and direction of sources and intensity of illumination, demonstrated through a lux plan. The agreed lighting scheme shall be installed as approved and retained/maintained as such thereafter.

Reason: To ensure the design, ecological and environmental quality of the development is protected and enhanced and to safeguard residential amenity in accordance with Policies DM1, DM19 and DM23 of the Development Management Development Plan Document 2017.

- 8) (a) Prior to the commencement of above ground works for the development hereby approved, the recommendations of the approved Ecological Impact Assessment shall be complied with, and details of this compliance submitted to and approved in writing by the Council. For the avoidance of doubt these recommendations and submissions shall include:
- a. Provision of full detailed biodiversity calculations demonstrating a minimum 10% biodiversity net gain.
 - b. Provision of a Biodiversity Enhancement Strategy that includes details of the following:
 - i. Bird boxes
 - ii. Bat roost boxes
 - iii. Insect blocks
 - iv. Arrangement and management of native species with a preference for species that bear flowers, pollen, fruit, berries or nuts
 - c. Details of management and maintenance of the above.
 - d. Justification for the location and type of enhancement measures should be supported by a qualified ecologist.

The development must be completed in accordance with the approved details.

(b) Within six months of the first occupation of the development, photographic evidence and a post-development ecological field survey and impact assessment shall be submitted to and approved by the Local Planning Authority to demonstrate the delivery of the ecological enhancement and protection measures is in accordance with the approved measures and in accordance with CIEEM standards.

Development shall accord with the details as approved and retained for the lifetime of the development.

Reason: To ensure that the development provides the maximum provision towards the creation of habitats for biodiversity and the mitigation and adaptation of climate change. In accordance with Policies G1, G5, G6, S11 and S12 of the London Plan 2021 and Policies SP4, SP5, SP11 and SP13 of the Haringey Local Plan 2017.

- 9) Prior to the first occupation of the development hereby approved full details of both hard and soft landscape works shall be submitted to and approved in writing by the Local Planning Authority, and these works shall thereafter be carried out as approved.

Details shall include information regarding, as appropriate:

- a) Proposed finished levels or contours;
- b) Means of enclosure;

- c) Hard surfacing materials including details of tonal contrasts between pedestrian, cycle and vehicle priority areas;
- d) Minor artefacts and structures (e.g. Furniture, play equipment, refuse or other storage units, wayfinding measures, signs etc.)
- e) detailed management and maintenance plans; and

Soft landscape works shall be supported by:

- f) Planting plans including an assessment of existing and proposed trees;
- g) Written specifications (including details of cultivation and other operations associated with plant and/or grass establishment);
- h) Schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate and demonstration a tree canopy net gain in the future;
- i) Implementation and long-term management programmes (including a five-year irrigation plan for all new trees).

The soft landscaping scheme shall include detailed drawings of:

- j) Existing trees to be retained;
- k) Existing trees which will require thinning, pruning, pollarding or lopping as a result of this consent; and
- l) Any new trees and shrubs, including street trees, to be planted, together with a schedule of species (all existing trees to be removed shall be replaced);
- m) detailed final urban greening factor plan showing that a factor of no less than 0.4 has been achieved.

The approved scheme of planting, seeding or turfing comprised in the approved details of landscaping shall be carried out and implemented in strict accordance with the approved details in the first planting and seeding season following the occupation of the building or the completion of development (whichever is sooner). Any trees or plants, either existing or proposed, which, within a period of five years from the completion of the development die, are removed, become damaged or diseased shall be replaced in the next planting season with a similar size and species. The landscaping scheme, once implemented, is to be retained thereafter.

Reason: In order for the Local Planning Authority to assess the acceptability of any landscaping scheme, thereby ensuring a satisfactory setting for the proposed development in the interests of the visual amenity of the area consistent with Policy DM1 of the Development Management DPD 2017 and Policy SP11 of the Local Plan 2017.

- 10) Prior to the commencement of above ground works for the development hereby approved scaled drawings with details of the location and dimensions of secure and covered cycle parking facilities have been submitted to and approved in writing by the Local Planning Authority. The cycle parking spaces shall be provided in accordance with the London Cycling Design Standards prior to first occupation of the development and shall be retained thereafter for this use only. Parking spaces for four mobility scooters and their charging equipment shall also be shown as provided within the site boundary. Once agreed, the details shall be implemented as approved and retained/maintained as such thereafter.

Reason: To promote travel by sustainable modes of transport and to comply with the London Plan 2021 minimum cycle parking standards and the London Cycling Design Standards, and to maximise the accessibility of the development.

- 11) The approved development shall not be occupied until a Delivery and Servicing Plan (DSP) has been submitted to and approved in writing by the Local Planning Authority. The DSP shall be updated in writing and re-submitted to the Local Planning Authority within the first six months of occupation or at 75% occupancy, whichever comes first. The development shall thereafter be implemented in accordance with the approved details and retained as such thereafter.

Reason: To enable safe, clean and efficient deliveries and servicing. In accordance with Policy DM21 of the Development Management DPD 2017.

- 12) Before development commences other than for investigative work: a) Using the information already submitted in Desk Study Report with reference ASL Report no: 285-21-088-11 prepared by ASL Limited dated September 2021, an intrusive site investigation shall be conducted for the site using information obtained from the desktop study and Conceptual Model. The site investigation must be comprehensive enough to enable; a risk assessment to be undertaken, refinement of the Conceptual Model, and the development of a Method Statement detailing the remediation requirements. b) The risk assessment and refined Conceptual Model shall be submitted, along with the site investigation report, to the Local Planning Authority which shall be submitted to, and approved in writing by, the Local Planning Authority prior to that remediation being carried out on site. c) Where remediation of contamination on the site is required, completion of the remediation detailed in the method statement shall be carried out and; d) A report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority before the development is occupied.

Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety.

- 13) If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be implemented as approved.

Reasons: To ensure that the development is not put at unacceptable risk from, or adversely affected by, unacceptable levels water pollution from previously unidentified contamination sources at the development site in line with the National Planning Policy Framework.

- 14) Prior to above ground works for the development hereby approved shall not commence until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. The CEMP shall include a Construction Logistics Plan (CLP) and Air Quality and Dust Management Plan (AQDMP), and the following information:

a) i. A construction method statement which identifies the stages and details how works will be undertaken; ii. Details of working hours, which unless otherwise agreed with the Local Planning Authority shall be limited to 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 on Saturdays; iii. Details of plant and machinery to be used during demolition/construction works; iv. Details of an Unexploded Ordnance Survey; v. Details of the waste management strategy; vi. Details of community engagement arrangements; vii. Details of any acoustic hoarding; viii. A temporary drainage strategy and performance specification to control surface water runoff and Pollution

Prevention Plan (in accordance with Environment Agency guidance); ix. Details of external lighting; and, x. Details of any other standard environmental management and control measures to be implemented.

b) The CLP will be in accordance with Transport for London's Construction Logistics Plan Guidance (July 2017) and shall provide details on: i. Dust Monitoring and joint working arrangements during the demolition and construction work; ii. Site access and car parking arrangements; iii. Delivery booking systems; iv. Agreed routes to/from the Plot; v. Timing of deliveries to and removals from the Plot (to avoid peak times, as agreed with Highways Authority, 07.00 to 9.00 and 16.00 to 18.00, where possible); and vi. Travel plans for staff/personnel involved in demolition/construction works to detail the measures to encourage sustainable travel to the Plot during the demolition/construction phase; and vii. Joint arrangements with neighbouring developers for staff parking, Lorry Parking and consolidation of facilities such as concrete batching.

c) The AQDMP will be in accordance with the Greater London Authority SPG Dust and Emissions Control (2014) and shall include: i. Mitigation measures to manage and minimise demolition/construction dust emissions during works; ii. Details confirming the Plot has been registered at <http://nrmm.london>; iii. Evidence of Non-Road Mobile Machinery (NRMM) and plant registration shall be available on site in the event of Local Authority Inspection; iv. An inventory of NRMM currently on site (machinery should be regularly serviced, and service logs kept on site, which includes proof of emission limits for equipment for inspection); v. A Dust Risk Assessment for the works; and vi. Lorry Parking, in joint arrangement where appropriate.

The development shall be carried out in accordance with the approved details as well as on the applicant submitted proposed mitigation in the Air Quality Report.

Reason: To safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality.

- 15) No piling shall take place until a Piling Method Statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the Local Planning Authority in consultation with Thames Water. Any piling must thereafter be undertaken in accordance with the terms of the approved piling method statement.

Reason: The proposed works will be in close proximity to underground sewerage and water utility infrastructure.

- 16) Prior to the first occupation of the development hereby approved, an updated Fire Strategy Report shall be submitted to the Local Planning Authority for its written approval, including the following additional details: where fire and rescue service pumping appliances are to be sited; the location of fire evacuation assembly points and mitigation measures to ensure they are kept clear of obstructions; evacuation strategy including provisions for the evacuation of mobility impaired residents and details of how the strategy would be communicated to residents; adequate firefighting water supply; how the FSR would be managed, updated and monitored as required. Once approved the development shall be completed in accordance with the approved details and retained as such thereafter.

Reason: In line with Policy D12 of the London Plan.

- 17) Prior to the commencement of above ground works, an updated Air Quality Assessment shall be submitted to the Local Planning Authority for its written approval. The updated AQA shall include:
- An addendum air quality assessment of the proposed development taking into consideration the likely operational impact of the development from its proximity to a major busy road (A10).
 - Monitoring will need to be undertaken at or within the close proximity of the site itself rather than relying purely on baseline monitoring farther away from the site nor Defra mapped background concentrations.
 - Provision of Predicted NO₂ Concentrations beyond 2020 as currently submitted. This needs to be submitted for building operational commencement year and a couple of years following the completion of development.

Once approved the development shall be completed in accordance with the approved details.

Reason: To Comply with the air quality requirements of the London Plan and GLA Sustainable Design and Construction SPG.

- 18) Prior to the first occupation of the development hereby approved exact details of the play space to be installed within the development shall be submitted to the Local Planning Authority for its written approval. Once approved works shall be implemented in accordance with the approved details and retained as such thereafter.

Reason: To meet the play space requirements of Policy S4 of the London Plan 2021.

- 19) Prior to the first occupation of the development hereby approved a scheme of digital connectivity infrastructure shall be submitted to the Local Planning Authority for its written approval that shows how full fibre connectivity shall be facilitated to all residential and non-residential units. Once approved the details shall be implemented and retained as such thereafter.

Reason: In accordance with Policy SI6 of the London Plan 2021.

- 20) Prior to the commencement of any works on site an Arboricultural Method Statement, in accordance with the tree protection measures shown in the approved Arboricultural Impact Assessment Report, shall be submitted to the Local Planning Authority for its written approval. The AMS shall include enhanced ground protection measures and details for all operations within tree root protection areas. Once approved the details shall be followed thereafter during the construction of the development.

Reason: To protect trees in accordance with Policy DM1 of the Development Management DPD 2017.

- 21) Prior to the commencement of above ground works an existing condition survey shall be carried out in collaboration with the Council with respect to the public highway along the site with particular reference to the carriageway, footway and crossovers. Prior to the first occupation of the development (and again on completion of the development if this occurs after first occupation) a similar final condition survey shall be undertaken. The applicant shall ensure that any damages caused by the construction works and highlighted by the before-and-after surveys are addressed and the condition of the public highway reinstated to the satisfaction of the Council.

All costs to undertake the surveys and carry out any highway works should be paid in full by the applicant.

Reason: To ensure the construction works do not result in the deterioration of the condition of the public highway along the site.

- 22) Prior to the first occupation of the development hereby approved details of Pedestrian/Cycle Route Access Control Arrangements describing the detailed management of public and private access to the proposed new east-west route through the site, including appropriate safeguards in case of damage or lack of functionality, shall be submitted to the Local Planning Authority for its written approval. Details shall include information on accessway design, layout, cycle access, management and maintenance, and rapid repairs in case of non-functionality. Once approved, works shall be implemented in accordance with the approved details and retained as such thereafter.

Reason: To ensure suitable access controls for vehicles are provided and to ensure the safety of the public highway.

- 23) Prior to the commencement of above ground works for the development hereby approved details of the residential access arrangements to Block D shall be submitted to the Local Planning Authority for its written approval. The access pathway to the north of Block D shall be fitted with a gate of a size, detailed design and materiality that is appropriate for its heritage context as well as providing ease of access and appropriate security for the residents of Block D. Once approved, the gate shall be installed in accordance with the approved details and retained/maintained as such thereafter.

Reason: To promote secure and accessible environments in accordance with Policies DM1, DM2 and DM3 of the Development Management Development Plan Document 2017.

- 24) Details of exact finishing materials to the boundary treatments and site access controls shall be submitted to the Local Planning Authority for its written approval prior to the first occupation of the development hereby approved. Once approved the details shall be provided as agreed.

Reason: In order to provide a good quality local character, to protect residential amenity, and to promote secure and accessible environments in accordance with Policies DM1, DM2 and DM3 of the Development Management Development Plan Document 2017.

- 25) Prior to the commencement of above ground works for the development hereby approved a Stage 2 Road Safety Audit based on the scope of the Stage 1 Road Safety Audit shall be submitted to the Local Planning Authority for its written approval. The recommendations of the Stage 2 RSA shall be taken up and followed in the design of the development as appropriate and retained as such thereafter.

Reason: In order to protect amenity and the safety of the public highway.

- 26) The development hereby approved shall be constructed in accordance with the Energy Strategy prepared by AJ Energy Consultants (dated 25 March 2022, Rev 2) delivering a minimum 60% improvement on carbon emissions over 2013 Building Regulations Part L, with SAP10 emission factors, high fabric efficiencies, and a minimum 35.5 kWp solar photovoltaic (PV) array.

(a) Prior to above ground construction, the Energy Strategy shall be resubmitted to and approved by the Local Planning Authority. This must include:

- Confirmation of how this development will meet the zero-carbon policy requirement in line with the Energy Hierarchy;
- Redesign of the heating strategy, prioritising a communal system with the ability to connect to a Decentralised Energy Network in the future and an alternative low-carbon heating solution.
- Confirmation of the necessary fabric efficiencies to achieve a minimum 27% reduction in carbon emissions under Be Lean, including details to reduce thermal bridging, and how the average heating demand will be limited to 18.4 kWh/m²/year and the cooling demand for Blocks A and B to 15 kWh/m²/year;
- Location, specification and efficiency of the proposed ASHPs (Coefficient of Performance, Seasonal Coefficient of Performance, and the Seasonal Performance Factor), with plans showing the ASHP pipework and noise and visual mitigation measures;
- Specification and efficiency of the proposed Mechanical Ventilation and Heat Recovery (MVHR), with plans showing the rigid MVHR ducting and location of the units;
- Details of the PV, demonstrating the roof area has been maximised, with the following details: a fully annotated roof plan; the number, angle, orientation, type, and efficiency level of the PVs; how overheating of the panels will be minimised; their peak output (kWp).

The development shall be carried out strictly in accordance with the details so approved prior to first operation and shall be maintained and retained for the lifetime of the development. The solar PV array shall be installed with monitoring equipment prior to completion and shall be maintained at least annually thereafter.

(b) Within six months of first occupation, evidence that the solar PV and ASHPs installation have been installed correctly shall be submitted to and approved by the Local Planning Authority, including photographs of the solar array, a six-month energy generation statement, and a Microgeneration Certification Scheme certificate.

Reason: To ensure the development reduces its impact on climate change by reducing carbon emissions on site in compliance with the Energy Hierarchy, and in line with London Plan (2021) Policy SI2, and Local Plan (2017) Policies SP4 and DM22.

27) Prior to the commencement of above ground of construction work, details relating to the future connection to the DEN must be submitted to and approved by the local planning authority. This shall include:

- Further detail of how the developer will ensure the performance of the DEN system will be safeguarded through later stages of design (e.g., value engineering proposals by installers), construction and commissioning including provision of key information on system performance required by CoP1 (e.g. joint weld and HIU commissioning certificates, CoP1 checklists, etc.);
- Peak heat load calculations in accordance with CIBSE CP1 Heat Networks: Code of Practice for the UK (2020) taking account of diversification.
- Detail of the pipe design, pipe sizes and lengths (taking account of flow and return temperatures and diversification), insulation and calculated heat loss from the pipes in Watts, demonstrating heat losses have been minimised together with analysis of stress/expansion;

- A before and after floor plan showing how the plant room can accommodate a heat substation for future DEN connection. The heat substation shall be sized to meet the peak heat load of the site. The drawings should cover details of the phasing including any plant that needs to be removed or relocated and access routes for installation of the heat substation;
- Details of the route for the primary pipework from the energy centre to a point of connection at the site boundary including evidence that the point of connection is accessible by the area wide DEN, detailed proposals for installation for the route that shall be coordinated with existing and services, and plans and sections showing the route for three 100mm diameter communications ducts;
- Details of the location for building entry including dimensions, isolation points, coordination with existing services and detail of flushing/seals;
- Details of the location for the set down of a temporary plant to provide heat to the development in case of an interruption to the DEN supply including confirmation that the structural load bearing of the temporary boiler location is adequate for the temporary plant and identify the area/route available for a flue;
- Details of a future pipework route from the temporary boiler location to the plant room.

Reason: To ensure the development reduces its impact on climate change by reducing carbon emissions on site in compliance with the Energy Hierarchy, and in line with London Plan (2021) Policy SI2 and SI3, and Local Plan (2017) Policies SP4 and DM22.

- 28) No development shall take place beyond the superstructure of the development until a detailed scheme for energy monitoring has been submitted to and approved in writing by the Local Planning Authority. The details shall include details of suitable automatic meter reading devices for the monitoring of energy use and renewable/ low carbon energy generation. The monitoring mechanisms approved in the monitoring strategy shall be made available for use prior to the first occupation of each building and the monitored data for each block shall be submitted to the Local Planning Authority, at daily intervals for a period of 5 years from final completion.

Within six months of first occupation of any dwellings, evidence shall be submitted in writing to the Local Planning Authority that the development has been registered on the GLA's Be Seen energy monitoring platform.

REASON: To ensure the development can comply with the Energy Hierarchy in line with London Plan 2021 Policy SI 2 and Local Plan Policy SP4 before construction works prohibit compliance.

- 29) Prior to the commencement of above ground works for the development hereby approved, an overheating report shall be submitted to and approved by the Local Planning Authority to confirm the mitigation strategy following the detailed design stage. The model will assess the overheating risk in line with CIBSE TM59 (using the London Weather Centre TM49 weather DSY1 file for the 2020s) and demonstrate how the overheating risks have been mitigated and removed through design solutions and in line with Building Regulations Part O. These mitigation measures shall be operational prior to the first occupation of the development hereby approved and retained thereafter for the lifetime of the development.

This report will include:

- Details of the design measures incorporated within the scheme in line with the Cooling Hierarchy as set out in the Overheating Assessment prepared by AJ

Energy Consultants (dated 28 March 2022, Rev 2) (including details of the feasibility of prioritising passive cooling and ventilation measures over active cooling) to ensure adaptation to higher temperatures are addressed, the spaces do not overheat, and the use of active cooling is reduced as far as possible for Blocks A and B;

- Specification of the external awnings, cooling modules and any additional mitigation measures found necessary;
- Appropriate design responses to mitigate risk of crime, and reduce exposure to air pollution and noise pollution in line with the AVO Residential Design Guide;
- Confirmation who will be responsible to mitigate the overheating risk once the development is occupied.

Reason: In the interest of reducing the impacts of climate change, to enable the Local Planning Authority to assess overheating risk and to ensure that any necessary mitigation measures are implemented prior to construction, and maintained, in accordance with London Plan (2021) Policy SI4 and Local Plan (2017) Policies SP4 and DM21.

- 30) At least six months prior to the occupation of each non-residential area, an Overheating Report must be submitted to and approved by the Local Planning Authority if that space is to be occupied for an extended period of time or will accommodate any vulnerable users, such as office/workspace, community, healthcare, or educational uses.

The report shall be based on the current weather files for 2020s for the CIBSE TM49 central London dataset, with and without active cooling. It shall set out:

- How the active cooling demand is reduced below the notional cooling demand, aiming for a cooling demand of below 15 kWh/m²/year, prioritising passive design measures.
- The modelled mitigation measures which will be delivered to ensure the development complies with DSY1 for the 2020s weather file.

The mitigation measures hereby approved shall be implemented prior to occupation and retained thereafter for the lifetime of the development.

Reason: In the interest of reducing the impacts of climate change, to enable the Local Planning Authority to assess overheating risk and to ensure that any necessary mitigation measures are implemented prior to construction, and maintained, in accordance with London Plan (2021) Policy SI4 and Local Plan (2017) Policies SP4 and DM21.

- 31) Prior to occupation, a Building User Guide for new residential occupants shall be submitted in writing to and for approval by the Local Planning Authority. The Building User Guide will advise residents how to operate their property during a heatwave, setting out a cooling hierarchy in accordance with London Plan (2021) Policy SI4 with passive measures being considered ahead of cooling systems. The Building User Guide will be issued to any residential occupants before they move in.

Reason: In the interest of reducing the impacts of climate change and mitigation of overheating risk, in accordance with London Plan (2021) Policy SI4, and Local Plan (2017) Policies SP4 and DM21.

- 32) (a) Prior to commencement on site, a design stage accreditation certificate per commercial unit must be submitted to the Local Planning Authority confirming that the development will achieve a BREEAM "Very Good" outcome (or equivalent), aiming for "Excellent". This should be accompanied by a tracker demonstrating which

credits are being targeted, and why other credits cannot be met on site. The development shall then be constructed in strict accordance with the details so approved, shall achieve the agreed rating and shall be maintained as such thereafter for the lifetime of the development.

(b) Prior to occupation, a post-construction certificate issued by the Building Research Establishment must be submitted to the local authority for approval, confirming this standard has been achieved.

In the event that the development fails to achieve the agreed rating for the development, a full schedule and costings of remedial works required to achieve this rating shall be submitted for our written approval with 2 months of the submission of the post construction certificate. Thereafter the schedule of remedial works must be implemented on site within 3 months of the Local Authority's approval of the schedule, or the full costs and management fees given to the Council for offsite remedial actions.

Reason: In the interest of addressing climate change and securing sustainable development in accordance with London Plan (2021) Policies SI2, SI3 and SI4, and Local Plan (2017) Policies SP4 and DM21.

- 33) (a) Prior to the commencement of above ground works for the development hereby approved, details of the living roofs must be submitted to and approved in writing by the Local Planning Authority. Living roofs must be planted with flowering species that provide amenity and biodiversity value at different times of year. Plants must be grown and sourced from the UK and all soils and compost used must be peat-free, to reduce the impact on climate change. The submission shall include:
- i) A roof plan identifying where the living roofs will be located;
 - ii) A section demonstrating settled substrate levels of no less than 120mm for extensive living roofs (varying depths of 120-180mm), and no less than 250mm for intensive living roofs (including planters on amenity roof terraces);
 - iii) Roof plans annotating details of the substrate: showing at least two substrate types across the roofs, annotating contours of the varying depths of substrate
 - iv) Details of the proposed type of invertebrate habitat structures with a minimum of one feature per 30m² of living roof: substrate mounds and 0.5m high sandy piles in areas with the greatest structural support to provide a variation in habitat; semi-buried log piles / flat stones for invertebrates with a minimum footprint of 1m², rope coils, pebble mounds of water trays;
 - v) Details on the range and seed spread of native species of (wild)flowers and herbs (minimum 10g/m²) and density of plug plants planted (minimum 20/m² with roof ball of plugs 25m³) to benefit native wildlife, suitable for the amount of direct sunshine/shading of the different living roof spaces. The living roofs will not rely on one species of plant life such as Sedum (which are not native);
 - vi) Roof plans and sections showing the relationship between the living roof areas and photovoltaic array; and
 - vii) Management and maintenance plan, including frequency of watering arrangements.
- (b) Prior to the occupation of 90% of the dwellings, evidence must be submitted to and approved by the Local Planning Authority that the living roof have been delivered in line with the details set out in point (a). This evidence shall include photographs

demonstrating the measured depth of substrate, planting and biodiversity measures. If the Local Planning Authority finds that the living roofs have not been delivered to the approved standards, the applicant shall rectify this to ensure it complies with the condition. The living roofs shall be retained thereafter for the lifetime of the development in accordance with the approved management arrangements.

Reason: To ensure that the development provides the maximum provision towards the creation of habitats for biodiversity and supports the water retention on site during rainfall. In accordance with London Plan (2021) Policies G1, G5, G6, S11 and S12 and Local Plan (2017) Policies SP4, SP5, SP11 and SP13.

- 34) No commencement of above ground works shall take place until a detailed Surface Water Drainage scheme for site has been submitted and approved in writing by the Local Planning Authority. The detailed drainage scheme shall demonstrate that : i) The surface water generated by this development (For all the rainfall durations starting from 15 min to 10080 min and intensities up to and including the climate change adjusted critical 100 yr storm) can be accommodated and disposed of without discharging onto the highway and without increasing flood risk on or off-site. ii) For the calculations above, we request that the applicant utilises more up to date FEH rainfall datasets rather than usage of FSR rainfall method iii) Any overland flows as generated by the scheme will need to be directed to follow the path that overland flows currently follow. A diagrammatic indication of these routes on plan demonstrating that these flow paths would not pose a risk to properties and vulnerable development. iv) The development shall not be occupied until the Sustainable Drainage Scheme for the site has been completed in accordance with the approved details and thereafter retained.

Reason: To ensure that the principles of Sustainable Drainage are incorporated into this proposal and maintained thereafter.

- 35) Prior to first occupation of the development hereby approved, a detailed management and maintenance plan for the lifetime of the development, which shall include arrangements for adoption by an appropriate public body or statutory undertaker, management by residents' management company or other arrangements to secure the operation of the drainage scheme throughout the lifetime of the development. The development shall be constructed in accordance with the approved details and thereafter retained.

Reason: To prevent increased risk of flooding to improve water quality and amenity to ensure future maintenance of the surface water drainage system.

- 36) At least 10% of residential units shall be built to Part M4(3) 'wheelchair user dwellings' of the Building Regulations 2013 (as amended) and all remaining residential units shall be built to Part M4(2) 'accessible and adaptable dwellings' of the same Regulations, unless otherwise agreed in writing in advance with the Local Planning Authority.

Reason: To ensure that the proposed development meets the Council's standards for the provision of wheelchair accessible dwellings in accordance with Local Plan 2017 Policy SP2 and London Plan Policy D7.

- 37) The placement of a satellite dish or television antenna on any external surface of the development is precluded, with an exception provided only for a communal solution(s), unless an exception is given in advance in writing by the Local Planning Authority. Details of any communal dish/antenna must be submitted to the Local

Planning Authority for its written approval prior to the first occupation of any residential unit within the development hereby approved. The communal dish/antenna solutions provided shall thereafter be retained as installed.

Reason: To protect the visual amenity of the locality in accordance with Policy DM1 of the Development Management Development Plan Document 2017.

- 38) The design and installation of new items of fixed plant shall be such that, when in operation, the cumulative noise level LAeq 15 min arising from the proposed plant, measured or predicted at 1 metre from the facade of nearest residential premises shall be a rating level at least 5dB(A) below the background noise level LAF90. The measurement and/or prediction of the noise should be carried out in accordance with the methodology contained within BS 4142:2014 +A1:2019. Within 30 days of any request by the Council a noise report shall be produced by a competent person and shall be submitted to and approved by the Council to demonstrate compliance with the above criteria.

Reason: To protect residential amenity in accordance with Policy DM1 of the Development Management DPD 2017.

- 39) The site or Contractor Company shall be registered with the Considerate Constructors Scheme. Proof of registration must be sent to the Local Planning Authority prior to any works being carried out above ground level.

Reason: To safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality.

Informatives

1. In dealing with this application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our development plan comprising the London Plan 2021, the Haringey Local Plan 2017 along with relevant SPD/SPG documents, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant during the consideration of the application.
2. Based on the information given on the submitted CIL form the Mayoral CIL charge will be £435,014.52 (7,207sqm x £60.36) and the Haringey CIL charge will be £337,096 (6,741.92sqm x £50).
3. The applicant is reminded that this planning permission does not infer consent for any signage that may be attached to the development hereby approved and separate advertisement consent may need to be sought.
4. The new development will require numbering. The applicant should contact Haringey Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 3797 / email: street.naming@haringey.gov.uk) to arrange for the allocation of a suitable address.
5. Prior to demolition of existing buildings, an asbestos survey should be carried out to identify the location and type of asbestos containing materials. Any asbestos containing materials must be removed and disposed of in accordance with the correct procedure prior to any demolition or construction works carried out.
6. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.
7. The applicant must seek the advice of the Metropolitan Police Service Designing Out Crime Officers (DOCOs) to achieve accreditation. The services of MPS DOCOs are available free of charge and can be contacted via docomailbox.ne@met.police.uk or 0208 217 3813.
8. The Environmental Permitting (England and Wales) Regulations 2016 require a permit or exemption to be obtained for any activities which will take place:
 - on or within 8 metres of a main river (16 metres if tidal)
 - on or within 8 metres of a flood defence structure or culverted main river (16 metres if tidal)
 - on or within 16 metres of a sea defence
 - involving quarrying or excavation within 16 metres of any main river, flood defence (including a remote defence) or culvert
 - in a floodplain more than 8 metres from the river bank, culvert or flood defence structure (16 metres if it's a tidal main river) and you don't already have planning permission
 For further guidance please visit <https://www.gov.uk/guidance/flood-risk-activities-environmental-permits> or contact our National Customer Contact Centre on 03708 506 506 (Monday to Friday, 8am to 6pm) or by emailing enquiries@environmentagency.gov.uk. The applicant should not assume that a permit will automatically be forthcoming once planning permission has been granted, and we advise them to consult with us at the earliest opportunity.

9. The applicant may be required to take additional corrective measures in the event the noise levels from uses and activities on adjacent sites specified in the condition above are exceeded.

Appendix 2 – Plans and Images

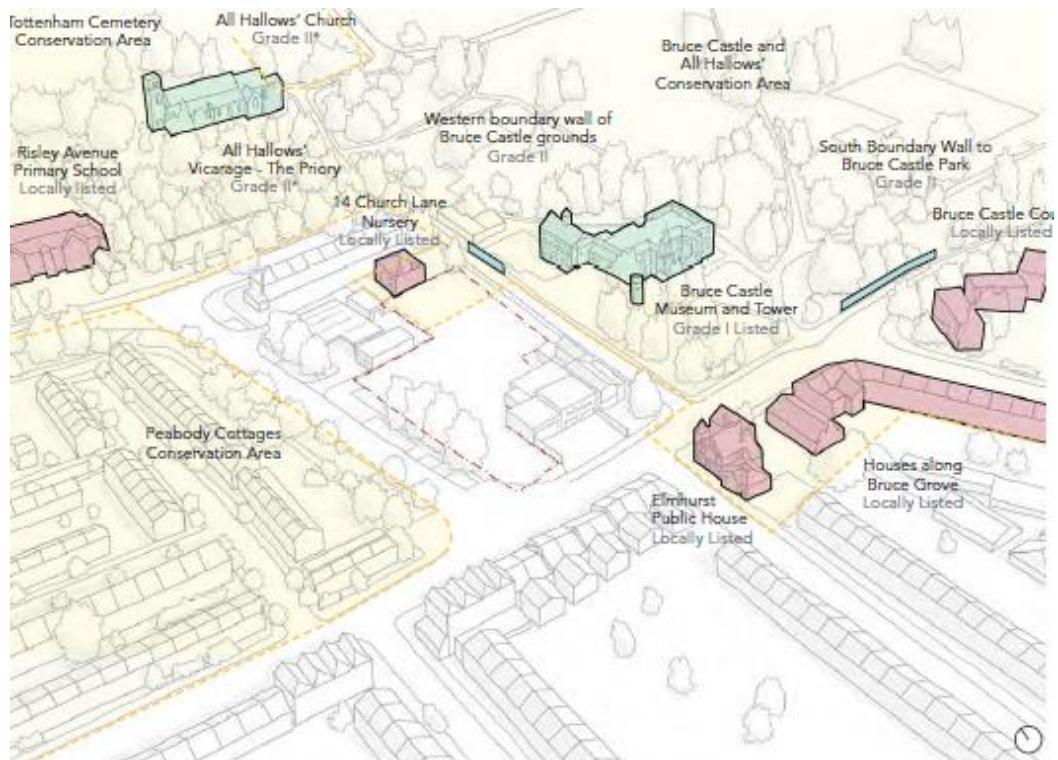
Existing Site Location Plan



Existing Site Ownership Plan



Existing Heritage Layout Plan



Aerial Image of Proposed Development



Image from The Roundway



Close Up Image from The Roundway



Church Lane Image



Internal Courtyard Image



The Roundway/Lordship Lane Junction Image (Including Materials Description)



- Lightweight metal recessed top floor
- Brickwork taking reference from predominant building type in the local area
- Terracotta coloured precast coping
- Openings accented with contrasting sills referencing Peabody cottages
- Recessed brick on balcony upstands drawing influence from walls in the local area. Address Signage can be incorporated.

Masterplan

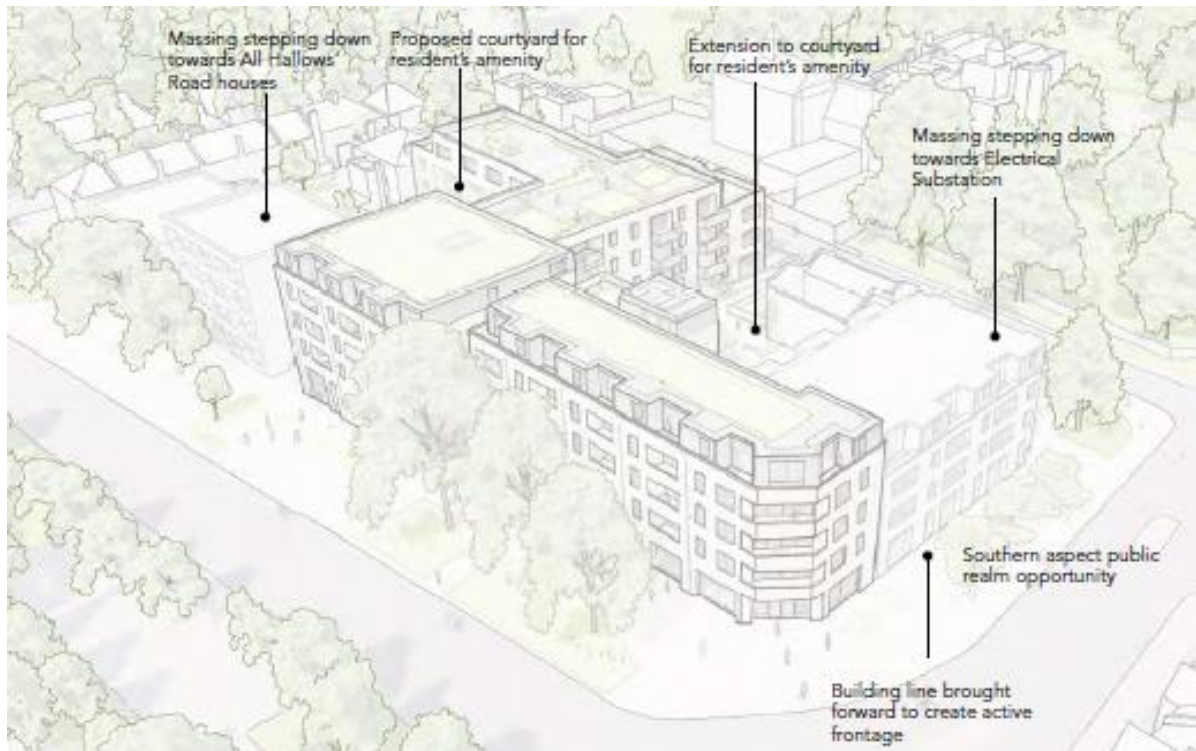


Image Showing Location of Affordable Housing Block (B)



Fig. 02: Third floor plan

Proposed Development in Local Views (nos. 1, 3 and 7 from submitted BHTVIA)



Proposed View from Lordship Lane (View no. 11 in BHTVIA)



Proposed View from Peabody Cottages (View no. 4 in BHTVIA)



Proposed Landscaping Layout



Appendix 3 – Consultation Responses from Internal and External Agencies

Stakeholder (LBH)	Comments	Response
Design Officer	<p>This application is for the bulk of the Site Allocations DPD (adopted July 2017) allocated site SA 63. It is a sensitive site, sandwiched between the Peabody Cottages and Bruce Castle Conservation Areas (with a small part of the site being within the latter) and in close proximity to statutory and locally listed buildings, including the Grade I Listed Bruce Castle. But it is a site in need of improvement, consisting largely of a number of derelict former car repair workshops and yards, and on a prominent corner at the junction of The Roundway with Lordship Lane. It also has frontage on the much narrower and quieter Church Lane, as well as adjoining a petrol station on The Roundway, another, still operating car repairers (“Spurz Autos”) and a substation on Lordship Lane, and a nursery school, in a listed building, on Church Lane.</p> <p>The proposals are for a residential development in the form of modest “mansion blocks”, with commercial uses on the ground floor, fronting The Roundway, including the site’s corner and short frontage to Lordship Lane, in the ground floor of two blocks of five storeys (Blocks A & B), with residential above. A new public route will cut across the site east to west, aligned to the side entrance to Bruce Castle east of Church Lane, providing a glimpsed view of Bruce Castle from The Roundway and a route to the castle and its large surrounding park from the adjacent bus stop on The Roundway. The route, which would be gated at night, would lead into a central landscaped courtyard, with communal entrance doors to the upper floor flats of Blocks A & B to its west, and Block C, north of the route & courtyard, to the north, as well as to private front doors and short front gardens to ground floor flats in Block C, who’s height will step down from 4 to 3 storeys where it gets closer to Church Lane. Block D, to the north & also of 3 and 4 storeys would face Church Lane behind a deep front garden, allowing the building line to step back to close to the listed nursery to its north. The proposed Form, Height, Bulk and Massing is considered to be excellent, modest and appropriate to the sensitive setting.</p>	<p>Comments have been taken into account. Materials and retention of architect to be controlled by condition.</p>

Stakeholder (LBH)	Comments	Response
	<p>Elevational treatment of the proposals is a restrained, polite, brick based architecture that will appear contemporary and yet compatible with and making reference to its surrounding context, particularly the Peabody Cottages conservation area of repetitive brick two storey terraced houses, the late nineteenth and early twentieth century larger houses, pub and mansion blocks on Lordship Lane and the Georgian and Victorian listed and conservation area buildings of Church Lane. Window and recessed balcony proportions along The Roundway are more horizontal, referencing most the 1930s mansion blocks on Lordship Lane, offset by a strong vertical rhythm of bays defined by recessed slots for rainwater pipes, referencing the rhythm of Peabody Cottages, with larger windows and regularly spaced doors to the ground floor commercial units providing active frontage and a “base”, and recessed top floor in darker, metallic finish, providing a “top”. At the corner, deep overhangs and recessed brick panels provide a modest but distinct celebration of the corner, in what will overall be a sober but elegant, significant improvement on the existing site, appropriate development for this significant street frontage and corner.</p> <p>Through the courtyard and onto the Church Lane frontage the architecture subtly changes to more vertically proportioned, less orderly, more relaxed, but still elegant form as the height reduces through four floors to three floors. Balconies change to semi-recessed close to Church Lane and fully projecting onto the central courtyard and set-back Block D frontage, which is appropriate, bringing more animation to these amenity spaces. The entrance, stairs and lift to Block D, around the back, where it backs onto the back of the neighbouring petrol station, minimises the number of habitable rooms with that less salubrious outlook, but the seclusion of the entrance would be unacceptable if not for the access controlled gate, where their Entryphone bells and post boxes will be, being a sheltered gate at the front of the property, beside the nursery, although it is recommended details of this element are included in the details required to be subject to condition.</p>	

Stakeholder (LBH)	Comments	Response
	<p>The proposals fulfil the site allocation requirement to show in a masterplan how the Petrol Station and Spurz Autos sites could be developed in harmony with this proposal. This shows similar mansion blocks stepping down to 4 and 3 storeys along the Roundway frontage of the petrol station, with private amenity behind, appropriately dropping in height to the two storey terraced housing to its north, and it is to be hoped a development of this form comes forward on this site, although the proposals in this application are perfectly capable of being neighbours to the continuing petrol station. On Spurz Autos, the applicants suggest a similar but 4 storey mansion block across its whole frontage, with amenity space to its north opening onto the central courtyard, although these applicants show that their design would work just as well if no change happened on the neighbouring site. Officers would welcome a similar development and integration with the courtyard, but would note that a building of initially 5 storeys, matching this proposals' height, stepping down to 4 and then 3 storeys closest to the substation, would be more likely. The applicants report that the owners of the sub station, which is a handsome, if utilitarian, pitched roofed, 2 storey, brick building in poorly maintained grounds enclosed by ugly, utilitarian steel fencing, have no intention of making any changes to it, but officers would hope that at least some or all of the grounds around it could be opened up to public access, with attractive paving and landscaping, and if so, it would be important that these developers & owners put no impediment in that way and are willing to open up their courtyard and route to it, as this would lead to further significant improvements to the public realm.</p> <p>Residential quality is generally excellent, with exemplary day and sunlight performance and a high 80% dual aspect. Although officers disagree with the applicants' definition of flats in Block A with a second aspect onto access balconies against the boundary to Spurz Autos, noting that site being likely (and indeed masterplanned by this applicant) to be developed up to the boundary, but this would only reduce the dual aspect to 70%, or 72% if the top floor were not counted, which it need not be as it could be open above. Officers would also note in mitigation that these flats should still benefit from</p>	

Stakeholder (LBH)	Comments	Response
	<p>cross ventilation, even after a development next door. None of the single aspect flats are north facing.</p> <p>The range of different flat types across this proposal would all have private external amenity space as well as access to private communal roof terraces over Blocks C and D, with access to all residents either via a “bridge” link at 4th floor level between Blocks A & B or by fob access. The bridge at 4th floor over the “alleyway” between The Roundway and the central courtyard is considered a good design, providing incident and further passive surveillance to the passageway as well as useful integrated amenity space access, which it should be noted means residents of affordable and market housing equally share amenities. The lower floor, dead-end balconies over the through route are, to officers, of more doubtful purpose, but apparently arose out of a suggestion at the margins of one of the QRPs. The scheme was reviewed twice by Haringey’s Quality Review Panel (QRP), as a full panel and subsequent chairs review, the latter of which “found much to admire in the proposed design” with just a small number of suggested refinements, which are all now considered to have been successfully resolved or explained.</p> <p>The QRP also noted the importance of careful detailing for this development to be successful, and for the polite, understated architectural expression to be translated into a high-quality finished building appropriate for this prominent, highly visible, sensitive, heritage-surrounded site, avoiding subsequent “value-engineering” and other cheapening of the design. Materials and key details of the proposals should be secured by conditions, including balconies and their balustrades and soffits and the distinctive expression of the corner, which the QRP and officers note could benefit from an injection of creative decoration. As a whole, the proposals represent a huge improvement on the current site and a more than acceptable residential-led development of the site, securing employment and a public route across the site, providing an appropriate neighbour to precious significant heritage assets, and good quality homes.</p>	

Stakeholder (LBH)	Comments	Response
Conservation Officer	<p><u>The site</u> The development site forms part of a wider site identified in the Local Plan as SA63 Site Allocation, and is located in a pivotal position to the north of Lordship Lane, where, it is largely surrounded to the north and east by the Bruce Castle and All Harrows Conservation Area, and to the west by the Peabody Cottages Conservation Area. Several statutory and locally listed buildings are in the vicinity of the SA63 site, including the Grade I Bruce Castle and also Grade I Tudor Tower.</p> <p>The area around the application site is characterised by unique and irreplaceable historic landmarks. Apart from the highly significant and prominent Bruce Castle complex to the east, the locally listed Elmhurst Public House (no. 129 Lordship Lane), to the south-east of the site, is one of Tottenham's most architecturally impressive pubs, and also acts as a local landmark.</p> <p>To the west part of Church Lane and just north of the development site, sits the locally listed no.14 Church Lane, now a nursery, and the last survivor of a group of three late-Georgian villas.</p> <p>The Peabody Cottages Conservation Area, to the west, and the locally listed Risley Avenue Primary School, to the north-west, illustrate important early 20th century development in the area. The Peabody Cottages Conservation Area encompasses an important example of a charitably funded suburban development of the early 20th century, built to provide new and affordable housing for working-class people.</p> <p>The wider context of the application site is characterised by Tottenham Cemetery Conservation Area which extends to the north of the Bruce Castle and All Harrows Conservation Area, while Towers Garden Conservation Area extends to the west of the Peabody Cottages Conservation Area.</p>	Comments have been taken into account.

Stakeholder (LBH)	Comments	Response
	<p>The application site currently hosts a mix of uses in the form of a garage and light industrial buildings and adjoins a petrol station to the north-west and an electricity substation to the south-east.</p> <p><u>Principle of development</u></p> <p>Overall, the area around the development site has a varied character, of high historic and architectural interest and excellently illustrates the development of this part of the Borough from the medieval to modern times. Within this heritage context, the only few, limited examples of buildings which do not contribute to or detract from the surrounding townscape are mainly concentrated within the development site or immediately adjacent to it as part of the wider SA63 site. These light industrial buildings are typically neutral or detracting due to their utilitarian appearance and character, however, their single-to-two storeys height mitigates their presence in the area. The electricity substation buildings which adjoin the development site, are not considered to detract from the surrounding area, however, the stark metal mesh fence surrounding the substation and the proliferation of unsightly security signs clash with the largely landscaped and architecturally positive qualities of the surrounding area.</p> <p>There is no objection in principle to the redevelopment of the site, as its crowded and low-quality buildings provide an opportunity to enhance the setting of the surrounding heritage assets.</p> <p>It is proposed to improve the permeability of the development site and create routes through the site with potential to connect to the Bruce Castle Park. It is also proposed to frame a new view through the proposed development to Bruce Castle. These elements of the proposals which would enhance the setting of the conservation areas and associated assets are welcome and supported in principle from conservation grounds.</p>	

Stakeholder (LBH)	Comments	Response
	<p><u>Height, mass and scale</u></p> <p>The proposed development would introduce a considerable change to the setting of a number of heritage assets, including the Bruce Castle and All Harrows Conservation Area, the Grade I Bruce Castle and Tudor Tower, the Peabody Cottages Conservation Area and the locally listed buildings along Church Lane, Lordship Lane and The Roundway.</p> <p>In order to assist with the understanding of the impact of the proposals, a number of views of the proposed development were discussed and provided by the applicant. The views show the proposed development in the context of the surrounding heritage assets and provide an indication of how the proposed development would fit within its surroundings.</p> <p>The height of the proposed development was reduced during the pre-application stages, particularly, the height of the corner facing onto Lordship Lane and the height of the buildings facing onto Church Lane. However, the proposed buildings along Lordship Lane and at parts along the Roundway would still rise two to three storeys higher than the established surrounding townscape. This jump in height, combined with the continuous mass and scale of the development, the lack of harmonious distribution of mass and the lack of sufficient articulation, would result, in parts, at a visually intrusive and overbearing development that detracts from the prominence and experience of the surrounding heritage assets.</p> <p>This is particularly evident in Views 1, 4 and 11. View 4 shows how the proposed new buildings along the Roundway would rise above the small-scale, traditionally proportioned cottages of the Peabody Cottages Conservation Area and would appear prominent and detract from the special interest of the conservation area. Views from and of Bruce Castle Park would also be affected as the proposed buildings, at parts, would rise above Bruce Castle and its Tudor Tower. This would detract to an extent</p>	

Stakeholder (LBH)	Comments	Response
	<p>from these landmark buildings which are currently the most prominent buildings in the area.</p> <p>It is also likely that additional height might be added to the proposed development with the potential addition of plant machinery and equipment on the roof of the existing buildings.</p> <p>It is therefore considered that the proposed height, mass and scale of the new buildings would be uncharacteristic of the area and would detract from the surrounding, historically and architecturally important buildings and areas.</p> <p><u>Architecture</u></p> <p>Within this very sensitive, historically and architecturally rich heritage context, it is expected that any new development should be inspired by the surrounding heritage assets and reflect good examples of architecture while creating a contemporary development of the highest quality.</p> <p>The proposed development was designed to be polite and unobtrusive, however, it fails to, appropriately and sufficiently, address the surrounding heritage assets and protected townscape. The architectural language and detailing of the proposed development are not considered to appropriately address the heritage constraints of the site. It is not considered to be sufficiently site specific and misses the opportunity to enhance the area and to contribute to local distinctiveness.</p> <p><u>Summary</u></p> <p>Based on the reasons explained above, due to the height, mass and scale of the proposed development but also the proposed architectural language and detailing, it is considered that the proposal would detract from the surrounding built historic environment, particularly the Bruce Castle Conservation Area, the Bruce Castle and Tudor Tower and the Peabody Cottages Conservation Area. On balance, the harm that</p>	

Stakeholder (LBH)	Comments	Response
	would be caused to the built historic environment is considered to be towards the moderate level of the less than substantial harm scale.	
Housing Officer	<p>From the perspective of our existing housing strategy, we are broadly supportive of the fact that the low-cost rental homes are for London Affordable Rent – although the Council has an explicit preference for low cost rented homes to be let at Social Rent with rents at target rent levels, we accept London Affordable Rent. However, I would point out that London Affordable Rent is only available as a tenure if the scheme gets on site by March 2023. Otherwise these will need to be priced as Social Rent.</p> <p>Although we would prefer more two bedroom than one bedroom units, we are also supportive of the fact that by providing 50% of the LAR homes with three bedrooms, the scheme is broadly in line with our target dwelling mix for Social Rent/LAR. Our targets are that 10% of Social Rent/LAR homes have one bedroom, 45% two bedrooms, and 45% three bedroom or more homes (10% having four bed or more).</p>	Comments have been taken into account.
Transportation Officer	<p>I have reviewed the Transport Assessment and accompanying planning documents (Residential Travel Plan, Workplace Travel Plan Statement and Outline Delivery and Servicing Plan). As discussed previously, <u>I object to the proposed development on transport grounds</u> due to the applicant's on-street parking proposals and highway safety issues that they pose. I have set out my comprehensive comments below. As the scheme currently stands, I cannot recommend any planning conditions or s.106 planning obligations as they could not make the development proposals any more acceptable.</p>	<p>Comments have been taken into account.</p> <p>Objections are addressed in main body of the report. Conditions and planning obligations will be attached to the recommendation.</p>

Stakeholder (LBH)	Comments	Response
	<p>Transport Assessment</p> <p><u>Development Proposals</u></p> <p>The proposed development is for the demolition of the existing uses (various buildings and yards on a brownfield former employment site) and the construction of 76 residential dwellings as well as 608sqm GEA of flexible Class E uses with associated public realm improvements. Of the 608sqm, 330sqm would be dedicated to a convenience food store and 278sqm to workspace.</p> <p>The existing site contains a number of B2 general industrial units which are either occupied (12 Church Lane and 313 The Roundway) or vacant (315 The Roundway and Southern Workshops accessed from the Roundway and Church Lane).</p> <p><u>Public Transport Accessibility Level (PTAL)</u></p> <p>The site's PTAL ranges from 3 to 5, with the majority of the site having a PTAL of 5, denoting a very good connectivity.</p>	

Stakeholder (LBH)	Comments	Response
	<p data-bbox="506 272 1196 304"><u>Proposed Delivery and Servicing Vehicle Access</u></p> <p data-bbox="506 384 1644 416">Delivery and servicing activity is proposed to be undertaken from 2 loading bays:</p> <ul data-bbox="551 496 1733 863" style="list-style-type: none"> <li data-bbox="551 496 1733 584">- A 12m inset loading bay on the Roundway that would be 3.7m wide and capable of accommodating a waste collection vehicle or a 10m long rigid vehicle. <li data-bbox="551 663 1733 863">- A 12m long loading bay on Church Lane that would be 2.7m wide, this is detailed as requiring 3m length of clear space at both ends of it, therefore requiring 18m total length. It is detailed that this will be capable of accommodating a waste collection vehicle and a 10m long rigid vehicle as well. <p data-bbox="506 943 1733 1302">The principle of the loading bay on the Roundway as shown in the drawings and described in the Transport Assessment is acceptable. Loading from Church Lane will be necessary, however given the low levels of delivery and servicing activity associated with the residential component of the development (5 arrivals/departures a day), it is required that the on street arrangements for loading be revisited within the context of all other considerations for Church Lane such as on street parking and the contraflow cycle arrangements.</p>	

Stakeholder (LBH)	Comments	Response
	<p data-bbox="506 272 1509 304"><u>Proposed Accessible Car Parking: Absence of Car-Capped Agreement</u></p> <p data-bbox="506 384 1733 799">Although the site's PTAL ranges from 3 to 5, the highest PTAL has been considered when applying the relevant car parking standards, in line with Paragraph 10.6.4 of the London Plan (2021): <i>"When calculating general parking provision within the relevant standards, the starting point for discussions should be the highest existing or planned PTAL at the site (...)"</i> The site is also located within the Tottenham Event Day Controlled Parking Zone (CPZ) operating on event days only (Monday-Friday, 17:00-20:30 and Saturday, Sunday and public holidays, 12:00-20:00). The existing event day controls do not deter on-street parking the rest of the time.</p> <p data-bbox="506 879 1733 1302">The proposed development will need to make provision for wheelchair-accessible car parking, in line with the relevant standards. In accordance with Policy DM32: Parking of the Development Management DPD, the proposed development would theoretically qualify for a car-capped status (the part of the site with lower connectivity is immediately adjacent to areas of PTAL 4; London Plan paragraph 10.6.4 also states that <i>"the starting point for discussions should be the highest existing or planned PTAL at the site"</i>). However, because of the infrequency of the local CPZ controls, we cannot recommend that the proposed development be made car-capped as placing</p>	

Stakeholder (LBH)	Comments	Response
	<p>restrictions on future occupiers would be totally ineffective and the restrictions themselves very easily circumvented.</p> <p>The applicant proposes to accommodate a total of 4 wheelchair-accessible car parking spaces, equating to a provision for 5% of the 76 proposed units having access to a parking space from the outset. These spaces would be partially inset along the western side of Church Lane (along the eastern boundary of the site) so that they could achieve the desired standard on-street accessible parking bay dimensions of 2.7m in width and 6.6m in length each. No other parking serving the site is proposed.</p> <p>As the transport consultant assumed that the proposed development would be made car-capped, no further assessment was undertaken to determine the likely impact of the car parking demand generated by the development proposals upon local streets. In order to estimate car ownership levels, Nomisweb table <i>LC4415EW – Accommodation type by car or van availability by number of usual residents aged 17 or over in household</i> has been extracted for both the 2011 Super Output Areas E01002095 Haringey 006D (Lower Layer) and E02000402 Haringey 006 (Middle Layer). Analysis shows that 76 units would likely generate parking demand for up to 32-33 cars. The impact upon local streets is assessed in the <u>On-Street Parking Stress Survey Analysis</u> section further below.</p>	

Stakeholder (LBH)	Comments	Response
	<p>It is therefore considered that the application under considers the likely on street parking demands that could materialise. The absence of daytime and night time restrictions on most days means that additional parking will materialise most likely on Church Lane from the residential units. A proportion of occupiers of the 76 units will be likely to require a car for their employment or family needs so it is fully expected that additional on street demands will arise. The applicant has not considered any new demands beyond those from the accessible units. Nor have they considered the provision of a car club facility to mitigate increased parking demands on street.</p> <p><u>Acceptability of the Car Parking Proposals</u></p> <p>Whilst this initial on street provision is in excess of the London Plan (2021) minimum accessible car parking standards (3%), the proposed location for the accessible bays is not acceptable. Despite pre-application consultations during which we, the Council's transport planning team, explained that relying on the public highway to deliver accessible parking spaces serving the site was not going to be supported, the applicant has chosen not to take account of our feedback and proceeded with an all on-street parking solution.</p>	

Stakeholder (LBH)	Comments	Response
	<p>Any on street bays are not able to be allocated to the occupiers of the wheelchair accessible units within the development as they are in the public highway and therefore available to any blue badge holder. Policy T6.1 of the London Plan requires that disabled parking provided by a development is only to be for use of the residents of that development. On street bays do not provide such a facility so as proposed the development does not meet the requirements of the London Plan.</p> <p>The reliance upon on-street parking to serve the proposed development is contrary to a number of National Planning Policy Framework (NPPF) and London Plan policies, due to its consequences on the local transport networks.</p> <p>The reasons are further explained below:</p> <ul style="list-style-type: none"> - There is sufficient space on site to accommodate up to 5 accessible parking spaces, as the transport consultant has clearly illustrated in Appendix I of the Transport Assessment, despite labelling this design option 'not feasible'. Swept path analysis has been undertaken and shows that vehicles would be able to access the site from Church Lane, and manoeuvre in and out of spaces before exiting onto Church Lane using the same crossover point. The obvious 	

Stakeholder (LBH)	Comments	Response
	<p>advantage of this solution is the possibility of accommodating up to one extra space and therefore increase the total initial provision from 5% to 7%.</p> <ul style="list-style-type: none"> - Paragraphs 110 and 112 of the NPPF respectively state that <i>“In assessing sites that may be allocated for development in plans, or specific applications for development, it should be ensured that (...) any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an acceptable degree”</i> and <i>“applications for development should (...) give priority first to pedestrian and cycle movements, both within the scheme and with neighbouring areas”</i>. - Paragraph 111 of the NPPF says that <i>“Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.”</i> - London Plan Policy T3 Transport Capacity, Connectivity and Safeguarding states that <i>“Development Plans and development decisions should ensure the provision of sufficient and suitably-located land for the development of the current and expanded public and active transport system to serve London’s</i> 	

Stakeholder (LBH)	Comments	Response
	<p><i>needs, including by (...) safeguarding London's walking and cycling networks. (...) Those that do not, or which otherwise seek to remove vital transport functions or prevent necessary expansion of these, without suitable alternative provision being made to the satisfaction of transport authorities and service providers, should be refused."</i></p> <ul style="list-style-type: none"> - London Plan Policy T4 Assessing and Mitigating Transport Impacts states that <i>"Development proposals should not increase road danger"</i>. - Cycleway 1 is a strategic cycle route which would be adversely affected by the proposals. Indeed, the existing layout with a few on-street parking bays and two long stretches of single yellow lines and several crossovers on the western side of the road offers multiple passing places for cyclists travelling northbound (totalling 30 linear metres of single yellow lines along the application site's eastern boundary) in what is effectively a contra-flow lane. - The proposed additional on-street parking would pose serious highway safety issues to cyclists travelling northbound, as it would remove most of the passing places and increase collision risks between cyclists travelling northbound and vehicles travelling in the opposite direction. As commented earlier in this 	

Stakeholder (LBH)	Comments	Response
	<p>response, the potential amounts of new on street parking would further compromise any spare space along Church Lane as parking demands are expected to be higher than the applicant proposes.</p> <ul style="list-style-type: none"> - The applicant has provided a stage 1 safety audit of Church Lane, carried out, it is understood, for TfL. This comments that there are no safety concerns with regards the cycle facility, however, this is based on the levels of on street parking envisaged by the applicant which is considered by Haringey to be an under estimate. - As such, it is considered that the proposed development fails to meet the objectives of the NPPF in that respect, does not comply with London Plan policy and worsen the cycling conditions on Church Lane which it should strive to safeguard at the very least. Highway safety for cyclists would be deteriorated, which is all the more unacceptable as Cycleway 1 is of strategic importance. - As submitted, the application is also contrary to Haringey's Walking and Cycling Action plan which seeks improvements to walking and cycling facilities in the Borough. The Plan requires new development to deliver the aspirations of the 	

Stakeholder (LBH)	Comments	Response
	<p>plan, and support active travel modes. New development is expected to improve conditions for walking and cycling, not degrade them.</p> <ul style="list-style-type: none"> - - Highway safety trumps any other considerations put forward by the transport consultant on behalf of the applicant. <u>On this basis, we can only recommend that the proposed development be refused on transport grounds.</u> <p>The applicant uses the example of the Bernard Works scheme as an example where on-street accessible parking bays serving the proposed development were accepted by the Council. However, the circumstances under which on-street parking was accepted in that case were very different. The difference between both schemes is that the on-street accessible parking for Bernard Works is entirely new provision and an addition to the local CPZ (on new highway land), therefore not detrimental to the local on-street parking stock or existing highway safety.</p> <p>Under the applicant's current proposals for the Roundway, there would be a net loss of 3 permit-holder parking spaces, which would be replaced by accessible parking only benefitting future eligible residents and generally a much smaller group of people in the local community.</p>	

Stakeholder (LBH)	Comments	Response
	<p>The transport consultant states that accommodating all spaces on site would require the retention/reprovision of a crossover, resulting in the loss of 4 on-street parking spaces due to the required sight lines (at 20mph x = 2.4m, y = 25m). This may be correct based on a strict textbook approach based on Manual for Streets, but I would question this as the existing crossovers along Church Lane do not require such extensive sight lines (the visibility for vehicles coming out of the existing northernmost crossover is not impeded by the on-street parking bays situated on both sides).</p> <p>Paragraph 7.8.5 of Manual for Streets states that <i>“Parking in visibility splays in built-up areas is quite common, yet it does not appear to create significant problems in practice. Ideally, defined parking bays should be provided outside the visibility splay. However, in some circumstances, where speeds are low, some encroachment may be acceptable.”</i></p> <p>Therefore, retaining all parking to the north of the new crossover would not diminish the visibility of oncoming vehicles travelling southbound. No vehicles would travel northbound, only cyclists in the contraflow lane and travelling southbound, and the visibility of oncoming cyclists to the south would equally still be achieved without removing any further space (other than one space to give way to a time-limited loading bay. We are of the view that the on-site parking solution would cause the loss of one on-street space only along Church Lane, a minor inconvenience.</p>	

Stakeholder (LBH)	Comments	Response
	<p>It is stated the new vehicle crossover would interfere with pedestrian movement on the western footway on Church Lane, however two of the three existing crossovers would still be removed and reinstated as footway, therefore the future situation in that scenario would still be a significant improvement over the existing situation.</p> <p>As commented earlier, the proposed 18m length of loading bay proposed for within Church Lane is likely to result in unauthorised parking taking place, given its relative/expected lack of use for loading, and the pressures of new on street parking demands. The applicant needs to reconsider the most appropriate loading arrangements taking these issues into account.</p> <p><u>Proposed Pedestrian Access</u></p> <p>Pedestrian access would be gained from the Roundway and Church Lane. An east-west route through the site is proposed, which would improve local permeability. The width of the passage at the eastern end is not specified on the plans. This matter was raised at pre-application stage and we requested a minimum width of 2m in that location to ensure pedestrians could benefit from a minimum acceptable footpath width across the whole development, including in that pinch-point location.</p>	

Stakeholder (LBH)	Comments	Response
	<p><u>Church Lane and proposed Wider Public Realm Improvements</u></p> <p>Based on the earlier comments in this response, Transportation considers that the arrangement and environment along Church Lane needs to be reconsidered and revisited, to ensure that the cycling facility is improved/maintained and certainly not worsened as a result of the impacts and additional parking and loading demands generated by this development. to take into account a likely uplift in on street parking demands, provision of an appropriate/more efficient loading arrangement, and</p> <p>In addition to revised arrangements within Church Lane, any proposed enhancements and amendments to the public highway (namely footways and crossovers) would be covered by a s.278 agreement. We expect footway widths to be reprovided on a like-for-like basis, unless the current width is under 2m, in which case we would want to see that width increased to meet that minimum width of 2m.</p> <p>Overall, the applicant must acknowledge that signing and implementation of a S278 Agreement is dependent on the Highway Authority being satisfied and supportive of any changes to the on highway arrangements associated with the implementation of this development.</p> <p><u>Proposed Cycle Parking and Access</u></p>	

Stakeholder (LBH)	Comments	Response
	<p>Cycle parking is proposed in line with the London Plan (2021) minimum cycle parking standards, and the provision for the proposed flexible Class E use has been calculated on the basis of the most onerous standards in that class, namely B1 office standard for the long-stay cycle parking quantum and A2-A5 standard for the short-stay cycle parking provision. This approach is supported.</p> <p>It is noted that there would be a total of 3 residential long-stay cycle stores, and the proportion of such spaces to be in the form of two-tier racks would be 69%, with Sheffield stands representing 31%. This breakdown is in line with the advice given at pre-application stage which is that the total amount of long-stay spaces as Sheffield stands should be at least 25%, for accessibility issues. The required minimum provision of 5% of all long-stay cycle parking spaces for larger cycles is not explicitly shown in either the Transport Assessment or on the drawings.</p> <p>The proposed Class E floorspace would benefit from separate cycle stores within the units. Short-stay parking would be located within the site's public realm, with stands accessible from the Roundway and Church Lane.</p> <p>The ground-floor plan shows that three sets of doors would need to be passed through in order to get to the cycle store 02, which is contrary to the principle set out in the</p>	

Stakeholder (LBH)	Comments	Response
	<p>London Cycling Design Standards. This was flagged up as an issue during pre-application discussions but it appears that the issue has not been addressed.</p> <p>The adequacy of the long-stay and short-stay cycle parking and access arrangements would be normally secured by planning condition. This would involve the provision of full details showing the parking systems to be used, access to them, the layout and space around the cycle parking spaces with all dimensions marked up on plans.</p> <p><u>On-Street Parking Stress Survey Analysis</u></p> <p>A parking stress survey following the Lambeth methodology for residential and commercial developments was undertaken on neutral weekdays in December 2021. Both the 5m and 6m parking bay lengths were considered, in accordance with the methodology and also at the Council's transport planning officer's request (to reflect driver parking behaviour in the borough).</p> <p>The results indicate that:</p> <ul style="list-style-type: none"> - On Church Lane, the overnight parking stress levels ranged from 17% to 26% with a 5m bay length, and from 20% to 30% with a 6m bay length. 	

Stakeholder (LBH)	Comments	Response
	<ul style="list-style-type: none"> - On all surrounding streets within the surveyed area (200m walking radius of the site), the overnight parking stress levels ranged from 61% to 63% with a 5m bay length, and from 74% to 77% with a 6m bay length. Great variations in on-street parking occupancy were highlighted by the survey, with some streets experiencing extremely high stress (especially All Hallows Road, Broadwater Road and Mount Pleasant Road). However, overall, the average surveyed stress levels remained below 85% occupancy beyond which it becomes increasingly difficult for drivers to find a suitable space to park in. - The daytime parking stress surveys show that Church Lane experienced a maximum stress level of 73% at 9:00 (based on a 5m bay length). When considering all streets within 500m walking distance of the site, the daytime parking stress levels do not exceed 66% and 78%, based on 5m and 6m bay lengths respectively. <p>It has been established that the proposed development would generate parking demand for 32-33 cars. With a 5m bay length, the average parking stress would increase to up to 72% overnight. With a 6m bay length, the average parking stress would therefore increase to up to 89% overnight. Considering an average bay length of 5.5m, the average parking stress would likely be in the region of 81%.</p>	

Stakeholder (LBH)	Comments	Response
	<p>In the daytime, with a 5m bay length, the maximum parking stress at 21:00 would go from 66% to 68%. With a 6m bay length, the maximum parking stress reached at 21:00 would be pushed from 78% to 81%. Considering an average bay length of 5.5m, the average parking stress would likely be in the region of 75%.</p> <p>In addition to resident parking, the proposed development would also likely generate parking demand arising from visitors to the site.</p> <p>Both overnight and daytime surveys show that any parking generated by the proposed development could be accommodated within its vicinity without exceeding the 85% occupancy threshold.</p> <p>However, when considering the proposed arrangements within Church Lane, the highest parking levels recorded were 27 vehicles parked out of 37 spaces. The development arrangement proposes provision of 4 blue badge bays, plus the 18m long loading bay, and in order to accommodate these, 3 standard on street CPZ bays would be lost.</p>	

Stakeholder (LBH)	Comments	Response
	<p>Taking current daytime parking levels at the busiest time, this would suggest 7 spaces would remain based on the parking survey. As commented earlier it is considered that the potential parking demands arising from the residential component of this development have been under considered and therefore given the absence of formal parking controls most of the time it is likely that additional parking will take place within Church Lane thus reducing considerably opportunity for cyclists to find refuse along the road when vehicles are passing along.</p> <p><u>Proposed Waste Strategy</u></p> <p>On the Roundway, ahead of waste collection times, the on-site facilities management team would take the bins from the residential waste stores to a temporary bin holding location. Waste operatives would then pull the bins to the rear of the waste collection vehicle, with a pull distance no greater than 10m (4.5m). Waste operatives would then return them to the holding location and the on-site team would subsequently take them back to the stores. This strategy has been agreed with the Council's waste officer and is therefore supported.</p>	

Stakeholder (LBH)	Comments	Response
	<p>On Church Lane, a small departure from the 10m pull distance has been agreed with the waste officer, with a 14m distance to the rear of the waste collection vehicle to be parked in the proposed on-street loading bay.</p> <p>Commercial waste would be collected by private operators. Non-residential bins would be stored in a dedicated store.</p> <p><u>Active Travel Zone Assessment</u></p> <p>An Active Travel Zone (ATZ) assessment was carried out in December 2021. Four routes were assessed, along which issues with the existing infrastructure were identified and are summarised below:</p> <ul style="list-style-type: none"> <p>Route 1 – Route to Lordship Recreation Ground</p> <p>Footway cluttered with on-footway cycle lanes, bollards, street furniture and guardrails east of the junction of Lordship Lane with Bennington Road, which increases the chance of pedestrian and cyclist conflict.</p> <p>Route 2 – Route to Assunnah Islamic Centre</p> <p>Narrow and cluttered footways at the Bruce Grove/High Road junction. The mini-roundabout (Lordship Lane/Bruce Grove) east of the site is difficult for</p> 	

Stakeholder (LBH)	Comments	Response
	<p>pedestrians to navigate due to the lack of pedestrian crossing facilities and the lack of signals at the pedestrian central refuge crossing to the west of the mini-roundabout.</p> <ul style="list-style-type: none"> Route 3 – Route to Haringey Sixth Form College / White Hart Lane Station No issues identified. Route 4 – Route to Risley Avenue Primary School The pedestrian crossing over All Hallows Road is on a bend and not signalised. <p><u>Multimodal Trip Generation Analysis</u></p> <p>The existing trip generation assessment is based on the two occupied units (12 Church Lane vehicle servicing unit and 313 The Roundway tyre repair unit) whereas the vacant units have been dismissed, as they have not been in use for quite some time. Only vehicle trips have been estimated as they dominate any other modes due to the very nature of the existing land uses.</p> <p>The proposed residential trip generation assessment is accepted; as we disagree with the proposed accessible parking provision associated with the site, we believe the</p>	

Stakeholder (LBH)	Comments	Response
	<p>proposed car driver mode share largely underestimates the likely number of car trips generated by the proposed development.</p> <p>The proposed use class E trip generation assessment has been undertaken on the worst-case basis that the corresponding floorspace would be for office use, giving rise to more trips than any other Class E use such as retail, for example. This is considered robust and, in actuality, the proposed non-residential floorspace would probably attract linked and pass-by trips, thus generating very few additional trips. Whilst the methodology used to assess the proposed commercial multimodal trips is generally acceptable, the modal split could have been derived from Nomisweb table <i>WP7103EW - Workplace and usual residence by method of travel to work (2001 specification) (Workplace population)</i> to obtain more local data, as 2011 workplace zones are smaller than Middle-Layer Super Output Areas (MSOAs) and therefore provide more accurate mode shares. The modal split derived from Nomisweb table <i>WU03EW - Location of usual residence and place of work by method of travel to work (MSOA level)</i> is less accurate as it reflects data gathered for MSOA Haringey 006 which is a larger area than Workplace Zone E33034019.</p> <p>The net multimodal trip generation analysis shows that the proposed development would result in a decrease in vehicle trips, as expected, and an increase in all other</p>	

Stakeholder (LBH)	Comments	Response
	<p>modes. Due to the disagreement we have in relation to the proposed parking provision, we consider that the decrease would actually be less than predicted in the Transport Assessment, however the general conclusion would remain the same. The biggest impact on local transport networks is predicted to be on bus and London Underground and Overground services.</p> <p><u>Delivery and Servicing Trip Generation Analysis</u></p> <p>Whilst the usefulness of Steer's in-house delivery and servicing trip rate database is not questioned, it is difficult to approve trip rates (and surveys upon which they are based) which cannot be freely consulted. Therefore, the transport consultant should have undertaken a comparison with trip rates extracted from the TRICS database to justify the soundness and adequacy of the use of the in-house trip rates. A sensitivity test has been undertaken where all non-residential uses would be for food retail use, which would constitute a worst-case scenario.</p> <p>The minimum loading bay requirements as calculated from the proposed trip rates would be for 2 bays, taking account of the aforementioned worst-case scenario. Only the predicted AM and PM network peak-hour demands are set out; however, it is standard to present the delivery and servicing peak-hour demand (which usually differs</p>	

Stakeholder (LBH)	Comments	Response
	<p>from that of either the AM or PM peak hour) in order to calculate minimum loading bay requirements.</p> <p>Notwithstanding the above, it appears that the predicted delivery and servicing needs of the proposed development would be met by 2 on-street loading bays, respectively on the Roundway and Church Lane.</p> <p><u>Impact on Highway network and junction capacities</u></p> <p>As discussed earlier, the proposed development would generate a reduction in trips, therefore no further assessment of local junction capacity has been undertaken.</p> <p><u>Impact on Local Public Transport Services</u></p> <p>Likewise, the impact on local public transport services is not considered material and they would have sufficient capacity to accommodate the additional trips identified in the local assessment.</p> <p><u>Borough Impact Assessment and Mitigation</u></p> <p>It is explained that the introduction of the proposed inset loading bay on the Roundway would be subject to a combined Stage 1/2 Road Safety Audit (RSA) to be secured by planning condition. This is welcome. However, the proposed Roundway loading bay is</p>	

Stakeholder (LBH)	Comments	Response
	<p>less controversial than the proposed loading bay along with the proposed accessible parking provision on Church Lane, especially in relation to Cycleway 1; the proposed parking arrangements on Church Lane should have been accompanied with a Stage 1 RSA at planning stage.</p> <p>Residential Travel Plan</p> <p>The document is acceptable. The Residential Travel Plan in its interim/pre-occupation and full/occupation versions would be secured by s.106 planning obligation with monitoring contributions, were the scheme deemed acceptable.</p> <p>Workplace Travel Plan Statement</p> <p>The document is acceptable. The Workplace Travel Plan Statement would be further developed into interim/pre-occupation and full/occupation versions to be secured by s.106 planning obligation, if the scheme were deemed acceptable.</p> <p>Outline Delivery and Servicing Plan</p> <p>The document is acceptable. The Delivery and Servicing Plan in its interim/pre-occupation and detailed/full/occupation versions would be secured by planning</p>	

Stakeholder (LBH)	Comments	Response
	<p>conditions and its monitoring would be closely linked with that of the Residential Travel Plan, were the scheme deemed acceptable.</p> <p>Outline Construction Logistics Plan</p> <p>It is very disappointing that no Outline Construction Logistics Plan has been submitted as part of the planning application, which is part of the standard planning documentation expected from major applications referable to the Mayor of London. It is noted that the transport consultant has proposed that a Detailed Construction Logistics Plan be conditioned.</p> <p><u>Conclusion</u></p> <p>As submitted, transportation are unable to support this application.</p> <p>The potential highway safety impacts on the cycling facility along Church Lane have not been fully explored and assessed, the likelihood of potential additional on street parking has not been fully considered, nor have the optimum arrangements for loading and servicing been achieved. Any new development should look to improve walking and cycling facilities within the Borough not degrade them.</p>	

Stakeholder (LBH)	Comments	Response
	<p>In addition to the above, the applicant has not proposed satisfactory arrangements for blue badge parking for the accessible units, at present London Plan requirements are not met.</p> <p>Overall, it is considered the applicant has under considered the quantum of parking that will be generated by the residential component of the development, given formal parking restrictions are not in place most of the time. Provision of a car club facility could reduce these.</p> <p>The applicant needs to revisit the proposed arrangements with respect to these components of the development proposal and agree appropriate arrangements with Transportation and Highways officers to ensure a successful S278 Agreement and process.</p> <p>If Planning colleagues/planning committee are however minded to grant consent for this application, then taking the transportation objections to the application into account, the following pre commencement conditions should be imposed;</p> <ul style="list-style-type: none"> • Blue badge/accessible unit parking – the applicant must meet the London Plan requirements for blue badge parking detailed within policy T6.1. 	

Stakeholder (LBH)	Comments		Response												
	<p>Reason - to provide appropriate designated disabled parking for resident's use only.</p> <ul style="list-style-type: none">Church Lane Highway arrangements – the applicant must consult and liaise with transportation and highways officers to agree a design for the highway layout along Church Lane <p>Reason - to provide a safe highway environment for cyclists, other highway users and to accommodate loading activity, all to accord with Haringey's Walking and Cycling Action Plan.</p>														
Carbon Management Officer	<table><tr><td colspan="2"></td><td>Our ref: HGY/2022/0967 Contact: Christopher Smith Date: 22/09/2022</td></tr><tr><td colspan="3">Town and Country Act 1990 (As amended)</td></tr><tr><td>Location:</td><td colspan="2">313 The Roundway and 8-12 Church Lane London N17 7AB</td></tr><tr><td>Proposal:</td><td colspan="2">Demolition of existing buildings and erection of a three to five storey building with new Class E floorspace at ground floor and residential C3 units with landscaping and associated works.</td></tr></table>				Our ref: HGY/2022/0967 Contact: Christopher Smith Date: 22/09/2022	Town and Country Act 1990 (As amended)			Location:	313 The Roundway and 8-12 Church Lane London N17 7AB		Proposal:	Demolition of existing buildings and erection of a three to five storey building with new Class E floorspace at ground floor and residential C3 units with landscaping and associated works.		Comments have been taken into account. The recommended conditions and planning obligations will be secured as appropriate.
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Stakeholder (LBH)	Comments	Response
	<p>Carbon Management Response 19/07/2022</p> <p>In preparing this consultation response, we have reviewed:</p> <ul style="list-style-type: none"> • Energy Strategy prepared by AJ Energy Consultants (dated 25 March 2022, Rev 2) • Overheating Assessment prepared by AJ Energy Consultants (dated 28 March 2022, Rev 2) • Preliminary BREEAM Report prepared by AJ Energy Consultants (dated 18 March 2022, Rev 1) • Relevant supporting documents. <p>1. Summary</p> <p>The development achieves a reduction of 60% carbon dioxide emissions on site, which is supported in principle. The overheating strategy is not currently compliant and further work needs to be done to demonstrate it complies. Some clarifications and further detail must be provided with regard to the energy and sustainability strategies. Appropriate planning conditions will be recommended once this information has been provided.</p> <p>2. Energy – Overall</p> <p>Policy SP4 of the Local Plan Strategic Policies, requires all new development to be zero carbon (i.e. a 100% improvement beyond Part L (2013)). The London Plan (2021) further confirms this in Policy SI2.</p> <p>The overall predicted reduction in CO₂ emissions for the development shows an improvement of approximately 60% in carbon emissions with SAP10 carbon factors, from the Baseline development model (which is Part L 2013 compliant). This represents an annual saving of approximately 48.8 tonnes of CO₂ from a baseline of 80.7 tCO₂/year.</p>	

Stakeholder (LBH)	Comments	Response																																																
	<p>London Plan Policy SI2 requires major development proposals to calculate and minimise unregulated carbon emissions, not covered by Building Regulations. No unregulated emissions have been noted.</p> <table><tr><th colspan="4">Residential (SAP10 emission factors)</th></tr><tr><th></th><th>Total regulated emissions (Tonnes CO₂ / year)</th><th>CO₂ savings (Tonnes CO₂ / year)</th><th>Percentage savings (%)</th></tr><tr><td>Part L 2013 baseline</td><td>73.63</td><td></td><td></td></tr><tr><td>Be Lean</td><td>53.64</td><td>19.99</td><td>27.2%</td></tr><tr><td>Be Clean</td><td>53.64</td><td>0</td><td>0%</td></tr><tr><td>Be Green</td><td>32.05</td><td>21.59</td><td>29.3%</td></tr><tr><td>Cumulative savings</td><td></td><td>41.58</td><td>56.5%</td></tr><tr><td>Carbon shortfall to offset (tCO₂)</td><td>32.05</td><td></td><td></td></tr></table> <table><tr><th colspan="4">Non-Residential (SAP10 emission factors)</th></tr><tr><th></th><th>Total regulated emissions (Tonnes CO₂ / year)</th><th>CO₂ savings (Tonnes CO₂ / year)</th><th>Percentage savings (%)</th></tr><tr><td>Part L 2013 baseline</td><td>7.11</td><td></td><td></td></tr><tr><td>Be Lean</td><td>5.05</td><td>2.06</td><td>29%</td></tr></table>	Residential (SAP10 emission factors)					Total regulated emissions (Tonnes CO ₂ / year)	CO ₂ savings (Tonnes CO ₂ / year)	Percentage savings (%)	Part L 2013 baseline	73.63			Be Lean	53.64	19.99	27.2%	Be Clean	53.64	0	0%	Be Green	32.05	21.59	29.3%	Cumulative savings		41.58	56.5%	Carbon shortfall to offset (tCO ₂)	32.05			Non-Residential (SAP10 emission factors)					Total regulated emissions (Tonnes CO ₂ / year)	CO ₂ savings (Tonnes CO ₂ / year)	Percentage savings (%)	Part L 2013 baseline	7.11			Be Lean	5.05	2.06	29%	
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Stakeholder (LBH)	Comments				Response
	Be Clean	5.05	0	0%	
	Be Green	-0.06	6.11	71.8%	
	Cumulative savings		7.17	100.8%	
	Carbon shortfall to offset (tCO ₂)	None			
	Site-Wide (SAP10 emission factors)				
		Total regulated emissions (Tonnes CO ₂ / year)	CO ₂ savings (Tonnes CO ₂ / year)	Percentage savings (%)	
	Part L 2013 baseline	80.74			
	Be Lean	58.69	22.05	27.3%	
	Be Clean	58.69	0	0%	
	Be Green	31.99	27.7	34.3%	
	Cumulative savings		48.75	60.4%	
	Carbon shortfall to offset (tCO ₂)	31.99			
	Carbon offset contribution	£95 x 30 years x 31.99 tCO ₂ /year = £91,171.50			
	10% management fee	£9,117			
	Actions:				
	- Please submit the content of the appendices included within the Energy Strategy (can be submitted as a separate document).				

Stakeholder (LBH)	Comments	Response																																				
	<p>- What are the modelled unregulated emissions?</p> <p>Energy – Lean</p> <p>The applicant has proposed a saving of 22.05 tCO₂ in carbon emissions (21% resi / 27% non-resi) through improved energy efficiency standards in key elements of the build, with SAP2012 carbon factors. This goes beyond the minimum 10% and 15% reduction respectively set in London Plan Policy SI2, so this is supported.</p> <p>The following u-values, g-values and air tightness are proposed:</p> <table border="1"> <thead> <tr> <th></th><th>Residential</th><th>Non-residential</th></tr> </thead> <tbody> <tr> <td>Floor u-value</td><td colspan="2">0.12 W/m²K</td></tr> <tr> <td>External wall u-value</td><td colspan="2">0.18 W/m²K</td></tr> <tr> <td>Roof u-value</td><td colspan="2">0.14 W/m²K</td></tr> <tr> <td>Door u-value</td><td>1.20 W/m²K</td><td></td></tr> <tr> <td>Window u-value</td><td colspan="2">1.20 W/m²K</td></tr> <tr> <td>G-value</td><td>0.35</td><td></td></tr> <tr> <td>Air permeability rate</td><td>3 m³/hm² @ 50Pa</td><td>5 m³/hm² @ 50Pa</td></tr> <tr> <td>Ventilation strategy</td><td>Mechanical ventilation with heat recovery (MVHR 76.5% efficiency; 0.50 W/l/s (one bathroom) – 0.53 W/l/s (two bathrooms Specific Fan Power)</td><td>MVHR with 0.75 W/l/s/ SPF and 0.85 ventilation heat recovery Fan coil unit SPF 0.15 W/l/s</td></tr> <tr> <td>Thermal bridging</td><td>Accredited Construction Details</td><td></td></tr> <tr> <td>Low energy lighting</td><td>100%</td><td>100 lm/W</td></tr> <tr> <td>Heating system (efficiency / emitter)</td><td>Individual gas boilers (Baseline/Be Lean)</td><td>96% efficient gas boiler and air cooled chiller system</td></tr> </tbody> </table>		Residential	Non-residential	Floor u-value	0.12 W/m ² K		External wall u-value	0.18 W/m ² K		Roof u-value	0.14 W/m ² K		Door u-value	1.20 W/m ² K		Window u-value	1.20 W/m ² K		G-value	0.35		Air permeability rate	3 m ³ /hm ² @ 50Pa	5 m ³ /hm ² @ 50Pa	Ventilation strategy	Mechanical ventilation with heat recovery (MVHR 76.5% efficiency; 0.50 W/l/s (one bathroom) – 0.53 W/l/s (two bathrooms Specific Fan Power)	MVHR with 0.75 W/l/s/ SPF and 0.85 ventilation heat recovery Fan coil unit SPF 0.15 W/l/s	Thermal bridging	Accredited Construction Details		Low energy lighting	100%	100 lm/W	Heating system (efficiency / emitter)	Individual gas boilers (Baseline/Be Lean)	96% efficient gas boiler and air cooled chiller system	
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Stakeholder (LBH)	Comments			Response
	Cooling	Proposed for Blocks A and B for living rooms and bedrooms (connected to MVHR)		
	Space heating requirement	18.4 kWh/m ² /year		
	<p><u>Actions:</u></p> <ul style="list-style-type: none">- Are the residential gas boilers individual or communal in the baseline/Be Lean scenario?- What is the summary TFEE/DFEE improvement?- What is the construction of building – frame/insulation. Thermal mass?- Set out how the scheme’s thermal bridging will be reduced.- Please identify on a plan where the MVHR units will be located within the dwellings. The units should be less than 2m away from external walls.- How is lighting energy demand improved? Should consider daylight control and occupancy sensors for communal areas.- What is the proportion of glazed area? If not already designed to LETI recommendations, consider bringing this down to 10-20% (north), 10-15% (east + west), 20-25% south.- The u-values of the walls can be brought down further, these are not very ambitious u-values.- To model the energy demand for the active cooling. Then include these energy demands into the carbon footprint of the development and update any offsetting requirements based on this. <p>Overheating is dealt with in more detail below.</p> <p>Energy – Clean London Plan Policy SI3 calls for major development in Heat Network Priority Areas to have a communal low-temperature heating system, with the heat source selected from</p>			

Stakeholder (LBH)	Comments	Response
	<p>a hierarchy of options (with connecting to a local existing or planned heat network at the top). Policy DM22 of the Development Management Document supports proposals that contribute to the provision and use of Decentralised Energy Network (DEN) infrastructure. It requires developments incorporating site-wide communal energy systems to examine opportunities to extend these systems beyond the site boundary to supply energy to neighbouring existing and planned future developments. It requires developments to prioritise connection to existing or planned future DENs. The development is within 500 meters of a planned future DEN, so the development is expected to secure connection subject to demonstration of technical feasibility and financial viability.</p> <p>The applicant is not proposing any Be Clean measures. The has considered that the site is not within reasonable distance of a proposed Decentralised Energy Network (DEN). A Combined Heat and Power (CHP) plant would not be appropriate for this site.</p> <p>Allowance for a future DEN plant in the ground floor of Blocks A and B has been included within the floor plans to facilitate connection to a future system. This has been sized based on the GLA's District Heating Manual. Ducting has been indicated as a dotted red line from the plant rooms to the edge of the site at the Roundway. The future-proofing infrastructure to allow for a potential connection in the future will be conditioned.</p> <p>Action:</p> <ul style="list-style-type: none"> - Submit further detail on the ducting that would be proposed between the future plant areas and the edge of the site – would this be installed under the finished floor levels as part of the base build? <p>Energy – Green</p>	

Stakeholder (LBH)	Comments	Response								
	<p>As part of the Be Green carbon reductions, all new developments must achieve a minimum reduction of 20% from on-site renewable energy generation to comply with Policy SP4.</p> <p>The application has reviewed the installation of various renewable technologies. The report concludes that air source heat pumps (ASHPs) and solar photovoltaic (PV) panels are the most viable options to deliver the Be Green requirement. A total of 27.7 tCO₂ (34.3%) reduction of emissions are proposed under Be Green measures.</p> <p>The total solar array peak output would be 35.52 kWp, which is estimated to produce around 29,394 kWh/year of renewable electricity per year, equivalent to a reduction of 6.9 tCO₂/year. The layout is included in Appendix A.</p> <table><tr><td>Block A</td><td>13.32 kWp; split: 9.62 kWp GF commercial unit 3.70 kWp residential landlord system</td><td>South-facing, 15-30° inclination</td><td>36x 370Wp panels</td></tr><tr><td>Block B</td><td>22.2 kWp; split: 8.14 kWp GF commercial unit 14.06 kWp residential landlord system</td><td>South-facing, 15-30° inclination</td><td>60x 370W panels</td></tr></table> <p>Hot water cylinders with integrated individual air-to-water ASHP systems are proposed for the residential dwellings, with ducting to the external facades. A seasonal efficiency of 3.36 has been assumed.</p> <p>For the commercial units, a Variable Refrigerant Flow (VRF) air-to-air heat pump system is proposed.</p> <p>Actions:</p>	Block A	13.32 kWp; split: 9.62 kWp GF commercial unit 3.70 kWp residential landlord system	South-facing, 15-30° inclination	36x 370Wp panels	Block B	22.2 kWp; split: 8.14 kWp GF commercial unit 14.06 kWp residential landlord system	South-facing, 15-30° inclination	60x 370W panels	
Block A	13.32 kWp; split: 9.62 kWp GF commercial unit 3.70 kWp residential landlord system	South-facing, 15-30° inclination	36x 370Wp panels							
Block B	22.2 kWp; split: 8.14 kWp GF commercial unit 14.06 kWp residential landlord system	South-facing, 15-30° inclination	60x 370W panels							

Stakeholder (LBH)	Comments	Response
	<ul style="list-style-type: none"> - What roof area would be covered by the PV arrays? - Why is a communal heating system not proposed within this development? What feasibility work has been undertaken to show the advantages and disadvantages of the options? - Please identify on the plans where the air source heat pumps will be located and how the units will be mitigated in terms of visual and noise impact. - How much of the heating/hot water demand will be met by the proposed types of heat pumps? If this cannot be met fully, how will this be supplemented? <p>Energy – Be Seen London Plan Policy SI2 requests all developments to ‘be seen’, to monitor, verify and report on energy performance. The GLA requires all major development proposals to report on their modelled and measured operational energy performance. This will improve transparency on energy usage on sites, reduce the performance gap between modelled and measured energy use, and provide the applicant, building managers and occupants clarity on the performance of the building, equipment and renewable energy technologies.</p> <p>The applicant is only proposing monitoring systems to review system outputs for the solar PV arrays.</p> <p><u>Action:</u></p> <ul style="list-style-type: none"> - Please confirm that sub-metering will be implemented for residential and commercial units. - What are the unregulated emissions and proposed demand-side response to reducing energy: smart grids, smart meters, battery storage? <p>3. Carbon Offset Contribution A carbon shortfall of 31.99 tCO₂/year remains. The remaining carbon emissions will need to be offset at £95/tCO₂ over 30 years.</p>	

Stakeholder (LBH)	Comments	Response										
	<p>4. Overheating</p> <p>London Plan Policy SI4 requires developments to minimise adverse impacts on the urban heat island, reduce the potential for overheating and reduce reliance on air conditioning systems. Through careful design, layout, orientation, materials and incorporation of green infrastructure, designs must reduce overheating in line with the Cooling Hierarchy.</p> <p>In accordance with the Energy Assessment Guidance, the applicant has undertaken a dynamic thermal modelling assessment in line with CIBSE TM59 with TM49 weather files, and the cooling hierarchy has been followed in the design. The report has modelled 57 habitable rooms, and 2 office spaces.</p> <p>Due to the noise constraints of this site being located along The Roundway, the TM59 criteria for predominantly mechanically ventilated dwellings apply for Blocks A and B, assuming windows need to remain closed. (Another simulation was done with the windows being open in these blocks, and it was demonstrated that these rooms would pass if they could rely on natural ventilation. Results below are for these blocks assuming closed windows.)</p> <p>Results are listed in the table below.</p> <table><tr><th></th><th></th><th>Number of habitable rooms pass TM59</th><th>Number of spaces pass TM52 (office)</th><th>Number of corridors pass</th></tr><tr><td>All blocks - including habitable rooms in Blocks A and B based</td><td>DSY1 2020s</td><td>41/57</td><td>2/2</td><td>Not modelled</td></tr></table>			Number of habitable rooms pass TM59	Number of spaces pass TM52 (office)	Number of corridors pass	All blocks - including habitable rooms in Blocks A and B based	DSY1 2020s	41/57	2/2	Not modelled	
		Number of habitable rooms pass TM59	Number of spaces pass TM52 (office)	Number of corridors pass								
All blocks - including habitable rooms in Blocks A and B based	DSY1 2020s	41/57	2/2	Not modelled								

Stakeholder (LBH)	Comments					Response
	on closed windows and no active cooling					
	Blocks C and D only – assuming Blocks A and B pass with active cooling	DSY2 2020s	12/25	Not modelled		
		DSY3 2020s	11/25			
		DSY1 2050s	11/25			
		DSY1 2080s	7/25			
	<p>Passing current weather files</p> <p>All residential rooms are noted to pass the overheating requirements for 2020s DSY1 (although not demonstrated in the results). In order to pass this, the following measures will be built:</p> <ul style="list-style-type: none"> - Natural ventilation for Blocks C and D, with openable areas of 90° for non-accessible windows, and security measures for accessible bedrooms (300mm) - Glazing g-value of 0.35 - Retractable external blinds along southern elevations for bedrooms in single aspect units only - External shading through deeper window reveals - Internal blinds where required - MVHR with summer bypass - Cooling modules attached to MVHR in Blocks A and B for living rooms and bedrooms - Building user guides. <p>Both office spaces pass based on closed windows due to the air quality and noise concerns. An active cooling system is proposed to improve internal thermal comfort levels and flexibility. The annual cooling demand would be 142.5 MJ/m², which is higher than the notional demand of 116.4 MJ/m².</p> <p>Passing future weather files</p> <p>Proposed future mitigation measures include:</p>					

Stakeholder (LBH)	Comments	Response
	<ul style="list-style-type: none"> - To be built as part of the development now, to allow for the installation of future retrofit measures: <ul style="list-style-type: none"> o Switched fuse spur on the ceiling in the living and bedrooms to allow for future ceiling-mounted fans to be installed o Reinforcement above suspended ceilings in this position to allow for future ceiling-mounted fans to be installed o Future ventilation grilles through external walls from each bedroom to allow for the installation of an additional ventilation unit. - To be installed by the occupants, in discussion with building management: <ul style="list-style-type: none"> o Ceiling-mounted fans - To be installed in cooperation with building management: <ul style="list-style-type: none"> o Future window replacement to reduce solar gains o Supplementary supply fan (e.g. Nuair Dave supply air fan to increase air rates up to 18 air changes per hour) o Active cooling for Blocks C and D, with minor alterations to the MVHR (with sufficient space provided) o If required, building-wide cooling packages could be considered <p><u>Overheating Actions:</u></p> <ul style="list-style-type: none"> - Weather files - Redo the overheating modelling with the Central London weather file, which will more accurately represent the urban heat island effect, as requested as part of the pre-application advice. Please also confirm that the CIBSE TM49 Design summer years for London were used. - Modelled areas - Please also model a residential corridor per block, as required by CIBSE TM59. - The report notes that external shading <i>and</i> retractable external blinds are proposed. External shading - What specifications have been assumed for these two elements? What will the retractable shading look like? Why 	

Stakeholder (LBH)	Comments	Response
	<p>were retractable external blinds not considered for the eastern and western facades?</p> <ul style="list-style-type: none"> - Internal shading - Where are internal blinds deemed 'where required'? what specification has been assumed for these? Are these required to pass the 2020s DSY1 weather file? - Floor layouts - Please include floor plans that indicate which homes/spaces were modelled (the images currently used are not easy to follow and do not include the internal layouts). - Ventilation - Confirm that natural ventilation is only proposed for Blocks C and D. - Ventilation/security -What secure by design measures have been included in the design to prevent the risk of crime to ground floor dwellings? 300mm restrictors may not be sufficient to pass Building Regulations Part O for accessible habitable rooms relying on natural ventilation. - Blocks A and B: <ul style="list-style-type: none"> o Please demonstrate what further mitigation measures were considered and tested to bring down the need for active cooling and the demand for cooling. o Please demonstrate with the modelled results that the DSY1 requirements are passed with the active cooling proposed. o Would windows be openable in Blocks A and B in practice? - Office space – please confirm the modelling was done without active cooling. What external shading features are proposed to reduce the cooling demand for these spaces, particularly considering the high amount of glazing? Could the amount of glazing be reduced to reduce solar gains? - Cooling demand - Can the residential and office cooling demand be modelled through the dynamic overheating software to present a more accurate figure in relation to the modelled temperatures? Please also 	

Stakeholder (LBH)	Comments	Response
	<p>confirm the efficiency of the equipment, whether the air is sourced from the coolest point / any renewable sources.</p> <ul style="list-style-type: none"> - Future mitigation – The detail behind future mitigation measures and what will be built out to enable these measures is very helpful. Can the applicant please demonstrate how, e.g. the ceiling fans will improve the overheating results? <p>5. Sustainability Policy DM21 of the Development Management Document requires developments to demonstrate sustainable design, layout and construction techniques. The Sustainability section in the DAS very briefly sets out proposed measures to improve the sustainability of the scheme, including microclimate, daylight and sunlight, air quality, acoustics and vibration, flood, biodiversity and arboricultural, and embodied carbon.</p> <p><i>Non-Domestic BREEAM Requirement</i> Policy SP4 requires all new non-residential developments to achieve a BREEAM rating ‘Very Good’ (or equivalent), although developments should aim to achieve ‘Excellent’ where achievable.</p> <p>The applicant has prepared a BREEAM Pre-Assessment Report for the commercial units. Based on this report, a score of 60.96% is expected to be achieved for both the commercial units in Block A and B, equivalent to ‘Very Good’ rating. No potential score including additional targets has been included. The assessment assumed an office use would occupy both spaces.</p> <p><u>Actions:</u></p> <ul style="list-style-type: none"> - The assessment should demonstrate which potential credits will be targeted to aim for an Excellent rating, in line with policy. - The report needs to include justification where targets are not met or ‘potential’ credits. 	

Stakeholder (LBH)	Comments	Response
	<p><i>Living roofs</i> All development sites must incorporate urban greening within their fundamental design, in line with London Plan Policy G5. All landscaping proposals and living roofs should stimulate a variety of planting species. Mat-based, sedum systems are discouraged as they retain less rainfall and deliver limited biodiversity advantages. The growing medium for extensive roofs must be 120-150mm deep, and at least 250mm deep for intensive roofs (these are often roof-level amenity spaces) to ensure most plant species can establish and thrive and can withstand periods of drought. Living walls should be rooted in the ground with sufficient substrate depth.</p> <p>The development is proposing amenity living roofs in the development on Blocks C and D. The roof plan (Figure 96 in DAS and Appendix A in the Energy Statement) indicates a green living roof under the solar PV on top of Blocks A and B. It is assumed that this would be an extensive living roof.</p> <p>Both intensive amenity and extensive living roofs are supported in principle, subject to detailed design. Details for living roofs will need to be submitted as part of a planning condition.</p> <p><u>Action:</u></p> <ul style="list-style-type: none"> - Please confirm/ensure that the roofs of Blocks A and B include extensive living roofs under the solar PV arrays to maximise the benefits of the roof space. <p><i>Urban Greening / Biodiversity Net Gain</i> All development sites must incorporate urban greening within their fundamental design and submit an Urban Greening Factor Statement, in line with London Plan Policy G5. London Plan Policy G6 and Local Plan Policy DM21 require proposals to manage impacts on biodiversity and aim to secure a biodiversity net gain. Additional greening should be provided through high-quality, durable measures that contribute to London's</p>	

Stakeholder (LBH)	Comments	Response
	<p>biodiversity and mitigate the urban heat island impact. This should include tree planting, shrubs, hedges, living roofs, and urban food growing. Specifically, living roofs and walls are encouraged in the London Plan. Amongst other benefits, these will increase biodiversity and reduce surface water runoff.</p> <p>The development achieves an Urban Greening Factor of 0.40, which complies with the interim minimum target of 0.4 for predominantly residential developments in London Plan Policy G5. The biodiversity net gain 86.8% in habitat units (+0.36 units).</p> <p>Whole Life Carbon Policy SI2 requires developments referable to the Mayor of London to submit a Whole Life Carbon Assessment and demonstrate actions undertaken to reduce life-cycle emissions.</p> <p>The applicant has set the challenge to meet the RIBA 2030 Climate Challenge target for 2025, or 2030. Estimates with a carbon tool have indicated that CO2 reduction can be achieved through decrease of column sizes, reduction of slab thickness, allowing for tolerances to adjust the structure in future design, specification of 50% GGBS to reduce cement, recycling existing materials on site.</p> <p>Circular Economy Policy SI7 requires applications referable to the Mayor of London to submit a Circular Economy Statement demonstrating how it promotes a circular economy within the design and aim to be net zero waste. Haringey Policy SP6 requires developments to seek to minimise waste creation and increase recycling rates, address waste as a resource and requires major applications to submit Site Waste Management Plans.</p> <p>This application is not required to submit a full statement. No reference has been made to consider and integrate circular economy principles within the proposed development. The applicant is strongly encouraged to consider implementing circular economy</p>	

Stakeholder (LBH)	Comments	Response
	<p>principles, such as designing for disassembly and reuse. The applicant was advised to undertake a Pre-Demolition Survey to re-use materials from existing buildings.</p> <p><i>Climate Change Adaptation</i></p> <p>The pre-application advice requested that the sustainability strategy should set out a climate change adaptation strategy for residents and employees to help the area become more resilient against the impacts of climate change. This should include adaptation to increased risk of flooding and wind-based impacts from more frequent and severe storm events, longer periods of drought (in relation to the soft landscaping and limiting occupant water use), more intense and longer heatwaves.</p> <p><u>Actions:</u></p> <ul style="list-style-type: none"> - Demonstrate how the site will improve the sustainability of the development through: <ul style="list-style-type: none"> ○ Using low-impact and low-embodied carbon materials and what demolition materials will be reused on site when deconstructing. ○ How the circular economy is promoted. ○ Details on the biodiversity benefits that this scheme will bring (green infrastructure, bird boxes, bat boxes etc to connect to the green spaces around the site) ○ Details on the EV charging points that will be delivered in the car park. ○ How water demand will be reduced ○ How surface water runoff will be reduced, that it will be separated from wastewater and not discharged into the sewer. ○ How the risk of surface water flooding to ground floor bedrooms and habitable spaces is reduced. ○ Climate change adaptation for internal and external spaces (shading, etc) and the impact of the increase in severity and frequency of weather events on the building structures. This should include identifying 	

Stakeholder (LBH)	Comments	Response
	<p>communal spaces (indoor and outdoor) where residents can cool down if their flats are overheating.</p> <p>Planning Conditions To be secured (with detailed wording TBC):</p> <ul style="list-style-type: none"> - Energy strategy - Future DEN connection - Overheating (Residential + Non-Residential) - Overheating building user guides - BREEAM Certificate for each commercial unit - Living roof(s) - Biodiversity <p>Planning Obligations Heads of Terms</p> <ul style="list-style-type: none"> - Be Seen commitment to uploading energy data - Energy Plan and Sustainability Review - Estimated carbon offset contribution (and associated obligations) of £91,171.50 (indicative), plus a 10% management fee (based on £2,850 per tonne of carbon emissions) <p>Carbon Management Response 22/09/2022</p> <p>In preparing this consultation response, we have reviewed:</p> <ul style="list-style-type: none"> • Responses to Planning Carbon Queries 170822 • Appendix B Baseline TER Worksheets • Appendix C Energy Efficiency Worksheets • Appendix D Renewable Energy Worksheets 	

Stakeholder (LBH)	Comments	Response
	<p>Summary of responses The applicant provided a table of responses to the above actions.</p> <p>Notable updates include:</p> <p>Energy</p> <ul style="list-style-type: none"> • The baseline for the residential units uses individual gas boilers. That would be acceptable if individual heat pumps were a justified heating solution. • TFEE of 43.20 and DFEE of 34.65, giving a 20% improvement. • Thermal bridging: psi-values calculated from similar projects, to be developed at detailed design stage. • Energy demand for cooling is included within the calculations. • Ducting between the plant areas and edge of the site would be installed under the floor as part of the base build; this detail would need to be investigated further at detailed design stage to ensure this is coordinated with other services. • Total roof area of 178.4 m² is currently estimated to be required for solar PVs. • No further justification was given for not progressing a communal heating system. • The residential individual ASHP units are proposed to be internal (60% of demand required for hot water; remaining space heating demand would be supplemented by responsive and controllable electric heating systems). Supplementing ASHP with direct electric heating is not supported unless Passivhaus dwellings are proposed. <p>Overheating</p> <ul style="list-style-type: none"> • Modelling was done with the London Weather Centre file. • Single aspect south-facing flats would have motorised awnings to provide external shading. 	

Stakeholder (LBH)	Comments	Response
	<ul style="list-style-type: none"> • Internal blinds are used to pass the mandatory weather file; the applicant should note that this strategy will need to be amended to pass Building Regulations Part O. alternative external shading should be explored for the east and west facing facades (e.g. external roller shades, or moveable shutters on balconies for example). • It was identified from the modelling that it was the lack of openable windows rather than the design that created the need for active cooling for Blocks A and B. It wasn't considered appropriate to reduce glazing areas in these units, according to the applicant. However, all aspects contribute to the heat gains within flats and the lower the heat gains, the lower the cooling demand during the summer. • Security measures to allow for natural ventilation will be confirmed at detailed design stage. • Air quality and noise are still being considered in terms of whether windows might be open in practice for residents to choose. • Residential cooling demand is expected to be <0.6% of annual energy demand. <p>Be Clean Strategy The applicant is not proposing a communal heating system, contrary to the pre-application advice provided. Since the pre-application advice, the Decentralised Energy Network (DEN) design has progressed further and it is considered that the development would not located far from Linley Road, where the DEN pipework is currently planned to be installed to connect various sites across Haringey. The site forms part of a relatively attractive cluster with other uses which could make it viable to connect and allow adjacent/nearby existing buildings to take the opportunity to connect as well. In particular, the Grade I listed Bruce Castle building would benefit from low-carbon heat due to limited expected opportunities to improve the fabric.</p>	

Stakeholder (LBH)	Comments	Response
	<p>The applicant should therefore, as a priority, explore a communal heating system for the residential units over individual heating solutions. This means the development should:</p> <ol style="list-style-type: none"> 1. Comply with Haringey's heat network specifications; 2. Submit an Energy strategy which covers two scenarios (not connecting to DEN and connecting to DEN), explaining the decision points and how the applicant will delay expenditure on ASHP as far as possible; 3. Pay a carbon offset contribution based on the DEN connection scenario (initial offset contribution), and if not connecting to the DEN, a deferred offset contribution would be due (based on the low-carbon heating scenario contribution minus the initial offset contribution); <ol style="list-style-type: none"> a. If connecting to the DEN, a connection charge would be paid based on the avoided offset contribution plus avoided spend on ASHP system depending on the timing of connection. <p>Conclusion The development can be supported, subject to the proposed wording of planning conditions listed below.</p> <p>Planning Conditions</p> <p><u>Energy strategy</u> <i>The development hereby approved shall be constructed in accordance with the Energy Strategy prepared by AJ Energy Consultants (dated 25 March 2022, Rev 2) delivering a minimum 60% improvement on carbon emissions over 2013 Building Regulations Part L, with SAP10 emission factors, high fabric efficiencies, and a minimum 35.5 kWp solar photovoltaic (PV) array.</i></p>	

Stakeholder (LBH)	Comments	Response
	<p><i>(a) Prior to above ground construction, the Energy Strategy shall be resubmitted to and approved by the Local Planning Authority. This must include:</i></p> <ul style="list-style-type: none"> - <i>Confirmation of how this development will meet the zero-carbon policy requirement in line with the Energy Hierarchy;</i> - <i>Redesign of the heating strategy, prioritising a communal system with the ability to connect to a Decentralised Energy Network in the future and an alternative low-carbon heating solution.</i> - <i>Confirmation of the necessary fabric efficiencies to achieve a minimum 27% reduction in carbon emissions under Be Lean, including details to reduce thermal bridging, and how the average heating demand will be limited to 18.4 kWh/m²/year and the cooling demand for Blocks A and B to 15 kWh/m²/year;</i> - <i>Location, specification and efficiency of the proposed ASHPs (Coefficient of Performance, Seasonal Coefficient of Performance, and the Seasonal Performance Factor), with plans showing the ASHP pipework and noise and visual mitigation measures;</i> - <i>Specification and efficiency of the proposed Mechanical Ventilation and Heat Recovery (MVHR), with plans showing the rigid MVHR ducting and location of the units;</i> - <i>Details of the PV, demonstrating the roof area has been maximised, with the following details: a fully annotated roof plan; the number, angle, orientation, type, and efficiency level of the PVs; how overheating of the panels will be minimised; their peak output (kWp).</i> <p><i>The development shall be carried out strictly in accordance with the details so approved prior to first operation and shall be maintained and retained for the lifetime of the development. The solar PV array shall be installed with monitoring equipment prior to completion and shall be maintained at least annually thereafter.</i></p> <p><i>(b) Within six months of first occupation, evidence that the solar PV and ASHPs installation have been installed correctly shall be submitted to and approved by the</i></p>	

Stakeholder (LBH)	Comments	Response
	<p><i>Local Planning Authority, including photographs of the solar array, a six-month energy generation statement, and a Microgeneration Certification Scheme certificate.</i></p> <p><i>Reason: To ensure the development reduces its impact on climate change by reducing carbon emissions on site in compliance with the Energy Hierarchy, and in line with London Plan (2021) Policy SI2, and Local Plan (2017) Policies SP4 and DM22.</i></p> <p><u><i>Future DEN connection</i></u> <i>Prior to the above ground commencement of construction work, details relating to the future connection to the DEN must be submitted to and approved by the local planning authority. This shall include:</i></p> <ul style="list-style-type: none"> - <i>Further detail of how the developer will ensure the performance of the DEN system will be safeguarded through later stages of design (e.g., value engineering proposals by installers), construction and commissioning including provision of key information on system performance required by CoP1 (e.g. joint weld and HIU commissioning certificates, CoP1 checklists, etc.);</i> - <i>Peak heat load calculations in accordance with CIBSE CP1 Heat Networks: Code of Practice for the UK (2020) taking account of diversification.</i> - <i>Detail of the pipe design, pipe sizes and lengths (taking account of flow and return temperatures and diversification), insulation and calculated heat loss from the pipes in Watts, demonstrating heat losses have been minimised together with analysis of stress/expansion;</i> - <i>A before and after floor plan showing how the plant room can accommodate a heat substation for future DEN connection. The heat substation shall be sized to meet the peak heat load of the site. The drawings should cover details of the phasing including any plant that needs to be removed or relocated and access routes for installation of the heat substation;</i> - <i>Details of the route for the primary pipework from the energy centre to a point of connection at the site boundary including evidence that the point of connection</i> 	

Stakeholder (LBH)	Comments	Response
	<p><i>is accessible by the area wide DEN, detailed proposals for installation for the route that shall be coordinated with existing and services, and plans and sections showing the route for three 100mm diameter communications ducts;</i></p> <ul style="list-style-type: none"> - <i>Details of the location for building entry including dimensions, isolation points, coordination with existing services and detail of flushing/seals;</i> - <i>Details of the location for the set down of a temporary plant to provide heat to the development in case of an interruption to the DEN supply including confirmation that the structural load bearing of the temporary boiler location is adequate for the temporary plant and identify the area/route available for a flue;</i> - <i>Details of a future pipework route from the temporary boiler location to the plant room.</i> <p><i>Reason: To ensure the development reduces its impact on climate change by reducing carbon emissions on site in compliance with the Energy Hierarchy, and in line with London Plan (2021) Policy SI2 and SI3, and Local Plan (2017) Policies SP4 and DM22.</i></p> <p><u><i>Energy Monitoring</i></u></p> <p><i>No development shall take place beyond the superstructure of the development until a detailed scheme for energy monitoring has been submitted to and approved in writing by the Local Planning Authority. The details shall include details of suitable automatic meter reading devices for the monitoring of energy use and renewable/ low carbon energy generation. The monitoring mechanisms approved in the monitoring strategy shall be made available for use prior to the first occupation of each building and the monitored data for each block shall be submitted to the Local Planning Authority, at daily intervals for a period of 5 years from final completion.</i></p> <p><i>Within six months of first occupation of any dwellings, evidence shall be submitted in writing to the Local Planning Authority that the development has been registered on the GLA's Be Seen energy monitoring platform.</i></p>	

Stakeholder (LBH)	Comments	Response
	<p><i>REASON: To ensure the development can comply with the Energy Hierarchy in line with London Plan 2021 Policy SI 2 and Local Plan Policy SP4 before construction works prohibit compliance.</i></p> <p><u><i>Overheating (Residential)</i></u></p> <p><i>Prior to the commencement of development, an overheating report shall be submitted to and approved by the Local Planning Authority to confirm the mitigation strategy following the detailed design stage. The model will assess the overheating risk in line with CIBSE TM59 (using the London Weather Centre TM49 weather DSY1 file for the 2020s) and demonstrate how the overheating risks have been mitigated and removed through design solutions and in line with Building Regulations Part O. These mitigation measures shall be operational prior to the first occupation of the development hereby approved and retained thereafter for the lifetime of the development.</i></p> <p><i>This report will include:</i></p> <ul style="list-style-type: none"> <i>- Details of the design measures incorporated within the scheme in line with the Cooling Hierarchy as set out in the Overheating Assessment prepared by AJ Energy Consultants (dated 28 March 2022, Rev 2) (including details of the feasibility of prioritising passive cooling and ventilation measures over active cooling) to ensure adaptation to higher temperatures are addressed, the spaces do not overheat, and the use of active cooling is reduced as far as possible for Blocks A and B;</i> <i>- Specification of the external awnings, cooling modules and any additional mitigation measures found necessary;</i> <i>- Appropriate design responses to mitigate risk of crime, and reduce exposure to air pollution and noise pollution in line with the AVO Residential Design Guide;</i> <i>- Confirmation who will be responsible to mitigate the overheating risk once the development is occupied.</i> 	

Stakeholder (LBH)	Comments	Response
	<p><i>Reason: In the interest of reducing the impacts of climate change, to enable the Local Planning Authority to assess overheating risk and to ensure that any necessary mitigation measures are implemented prior to construction, and maintained, in accordance with London Plan (2021) Policy SI4 and Local Plan (2017) Policies SP4 and DM21.</i></p> <p><u><i>Overheating (Non-Residential)</i></u> <i>At least six months prior to the occupation of each non-residential area, an Overheating Report must be submitted to and approved by the Local Planning Authority if that space is to be occupied for an extended period of time or will accommodate any vulnerable users, such as office/workspace, community, healthcare, or educational uses.</i></p> <p><i>The report shall be based on the current weather files for 2020s for the CIBSE TM49 central London dataset, with and without active cooling. It shall set out:</i></p> <ul style="list-style-type: none"> <i>- How the active cooling demand is reduced below the notional cooling demand, aiming for a cooling demand of below 15 kWh/m²/year, prioritising passive design measures.</i> <i>- The modelled mitigation measures which will be delivered to ensure the development complies with DSY1 for the 2020s weather file.</i> <p><i>The mitigation measures hereby approved shall be implemented prior to occupation and retained thereafter for the lifetime of the development.</i></p> <p><i>REASON: In the interest of reducing the impacts of climate change, to enable the Local Planning Authority to assess overheating risk and to ensure that any necessary mitigation measures are implemented prior to construction, and maintained, in accordance with London Plan (2021) Policy SI4 and Local Plan (2017) Policies SP4 and DM21.</i></p>	

Stakeholder (LBH)	Comments	Response
	<p><u>Overheating building user guides</u> Prior to occupation, a Building User Guide for new residential occupants shall be submitted in writing to and for approval by the Local Planning Authority. The Building User Guide will advise residents how to operate their property during a heatwave, setting out a cooling hierarchy in accordance with London Plan (2021) Policy SI4 with passive measures being considered ahead of cooling systems. The Building User Guide will be issued to any residential occupants before they move in.</p> <p><i>Reason: In the interest of reducing the impacts of climate change and mitigation of overheating risk, in accordance with London Plan (2021) Policy SI4, and Local Plan (2017) Policies SP4 and DM21.</i></p> <p><u>BREEAM Certificate</u> (a) Prior to commencement on site, a design stage accreditation certificate per commercial unit must be submitted to the Local Planning Authority confirming that the development will achieve a BREEAM “Very Good” outcome (or equivalent), aiming for “Excellent”. This should be accompanied by a tracker demonstrating which credits are being targeted, and why other credits cannot be met on site. The development shall then be constructed in strict accordance with the details so approved, shall achieve the agreed rating and shall be maintained as such thereafter for the lifetime of the development.</p> <p>(b) Prior to occupation, a post-construction certificate issued by the Building Research Establishment must be submitted to the local authority for approval, confirming this standard has been achieved.</p> <p><i>In the event that the development fails to achieve the agreed rating for the development, a full schedule and costings of remedial works required to achieve this rating shall be submitted for our written approval with 2 months of the submission of the post construction certificate. Thereafter the schedule of remedial works must be</i></p>	

Stakeholder (LBH)	Comments	Response
	<p><i>implemented on site within 3 months of the Local Authority's approval of the schedule, or the full costs and management fees given to the Council for offsite remedial actions.</i></p> <p><i>Reason: In the interest of addressing climate change and securing sustainable development in accordance with London Plan (2021) Policies SI2, SI3 and SI4, and Local Plan (2017) Policies SP4 and DM21.</i></p> <p><u><i>Living roof(s)</i></u> <i>(a) Prior to the commencement of development, details of the living roofs must be submitted to and approved in writing by the Local Planning Authority. Living roofs must be planted with flowering species that provide amenity and biodiversity value at different times of year. Plants must be grown and sourced from the UK and all soils and compost used must be peat-free, to reduce the impact on climate change. The submission shall include:</i></p> <ul style="list-style-type: none"> <i>i) A roof plan identifying where the living roofs will be located;</i> <i>ii) A section demonstrating settled substrate levels of no less than 120mm for extensive living roofs (varying depths of 120-180mm), and no less than 250mm for intensive living roofs (including planters on amenity roof terraces);</i> <i>iii) Roof plans annotating details of the substrate: showing at least two substrate types across the roofs, annotating contours of the varying depths of substrate</i> <i>iv) Details of the proposed type of invertebrate habitat structures with a minimum of one feature per 30m² of living roof: substrate mounds and 0.5m high sandy piles in areas with the greatest structural support to provide a variation in habitat; semi-buried log piles / flat stones for invertebrates with a minimum footprint of 1m², rope coils, pebble mounds of water trays;</i> <i>v) Details on the range and seed spread of native species of (wild)flowers and herbs (minimum 10g/m²) and density of plug plants planted (minimum 20/m² with roof ball of plugs 25m³) to benefit native wildlife, suitable for the amount of direct sunshine/shading of the different living roof spaces. The living roofs will not rely on one species of plant life such as Sedum (which are not native);</i> 	

Stakeholder (LBH)	Comments	Response
	<p>vi) Roof plans and sections showing the relationship between the living roof areas and photovoltaic array; and</p> <p>vii) Management and maintenance plan, including frequency of watering arrangements.</p> <p>(b) Prior to the occupation of 90% of the dwellings, evidence must be submitted to and approved by the Local Planning Authority that the living roof have been delivered in line with the details set out in point (a). This evidence shall include photographs demonstrating the measured depth of substrate, planting and biodiversity measures. If the Local Planning Authority finds that the living roofs have not been delivered to the approved standards, the applicant shall rectify this to ensure it complies with the condition. The living roofs shall be retained thereafter for the lifetime of the development in accordance with the approved management arrangements.</p> <p><i>Reason: To ensure that the development provides the maximum provision towards the creation of habitats for biodiversity and supports the water retention on site during rainfall. In accordance with London Plan (2021) Policies G1, G5, G6, SI1 and SI2 and Local Plan (2017) Policies SP4, SP5, SP11 and SP13.</i></p> <p><u>Biodiversity</u></p> <p>(a) Prior to the commencement of development, details of ecological enhancement measures and ecological protection measures shall be submitted to and approved in writing by the Council. This shall detail the biodiversity net gain, plans showing the proposed location of ecological enhancement measures, a sensitive lighting scheme, justification for the location and type of enhancement measures by a qualified ecologist, and how the development will support and protect local wildlife and natural habitats.</p> <p>(b) Prior to the occupation of development, photographic evidence and a post-development ecological field survey and impact assessment shall be submitted to and approved by the Local Planning Authority to demonstrate the delivery of the ecological</p>	

Stakeholder (LBH)	Comments	Response
	<p><i>enhancement and protection measures is in accordance with the approved measures and in accordance with CIEEM standards.</i></p> <p><i>Development shall accord with the details as approved and retained for the lifetime of the development.</i></p> <p><i>Reason: To ensure that the development provides the maximum provision towards the creation of habitats for biodiversity and the mitigation and adaptation of climate change. In accordance with London Plan (2021) Policies G1, G5, G6, SI1 and SI2 and Local Plan (2017) Policies SP4, SP5, SP11 and SP13.</i></p>	
Regeneration Officer	<p>Just following up on this. We are speaking to colleagues this afternoon after which diane and I should be able to revert.</p> <p>Can you give me a sense of the maximum floor space we might be talking about that could be attributed affordable? I note on the plans it talks about one space or another, depending on what is most viable but it would be helpful to understand parameters such as square feet and perhaps ceiling heights/amenities etc</p>	Comments have been taken into account.
Nature Conservation Officer	<p>Ecology</p> <p>The site currently has a very low ecological value being almost entirely hard standing. The expected ecological net gain from the proposals is estimated to be Within the boundary of the Application Site, the proposal is predicted to deliver a 86.8% (+0.36 units) gain in biodiversity Habitat Units.</p> <p>The application site incorporates extensive brown and green roofs on the podiums. The amenity areas propose a range of native and non-native plants to provide nectar for insects. In accordance with the ecology report, the landscaping provides for the</p>	Comments have been taken into account. Appropriate conditions will be secured.

Stakeholder (LBH)	Comments	Response
	<p>planting of habitats which will be of value to wildlife, such as: ▪ native seed/fruit bearing species. ▪ nectar-rich species to attract bees and butterflies. ▪ species which attract night-flying insects which will be of value to foraging bats, for example: evening primrose <i>Oenothera biennis</i>, goldenrod <i>Solidago virguarea</i>, honeysuckle <i>Lonicera periclymenum</i> and fleabane <i>Pulicaria dysenterica</i>. ▪ Provision of nesting/ roosting habitat, such as installation of nest boxes for species such as house sparrow, dense scrub, or native thicket for species such as song thrush, and bat boxes for species such as the common pipistrelle. ▪ Inclusion of hedgehog passes under any fence lines to allow connectivity between the site and the wider area. ▪ Creation of deadwood habitat for invertebrate species (e.g. stag beetle).</p> <p>An ecologist has been instructed to ensure that the emerging landscape proposals provide significant ecological enhancement. The aim of the landscape design is to increase the extent and variation in habitats within the site relative to the current baseline situation. Page 28</p> <p>Ecology and Green Infrastructure – The existing site has little ecological value and therefore there is an opportunity to provide a net gain in biodiversity. The landscape and ecology proposals for the site include a number of play areas, native hedging and planting and a range of boxes for birds, lacewings, mason bees and other insects. In addition, the scheme will include a significant area of green roof.</p> <p>http://www.planningservices.haringey.gov.uk/portal/servlets/AttachmentShowServlet?ImageName=1645131 Soft Landscape - Fifth Floor (Planting plan) Bauder BioSolarGreen Roof System or Extensive Green Roof to GRO cod</p>	

Stakeholder (LBH)	Comments	Response
	<p>Post development) maintenance plan to sustain and monitor quality, plant and flora species in order to deliver the suggested Standard time to target condition/years and UGF requirement.</p> <p>Conclusion All document and reports have been prepared to current good practice guidance covering relevant legislation and policy.</p> <p>The opportunities for ecological enhancement including mitigation measures should be set out in a Construction Environmental Management Plan & Landscape and Ecological Management Plan. To sustain and monitor quality, plant and flora species in order to deliver the suggested standard time to target condition/years and UGF requirement.</p> <p>As such, a Construction Environmental Management Plan & Landscape and Ecological Management Plan should be secured by condition and approved prior to construction.</p>	
Tree Officer	<p>I hold no objections to the proposal.</p> <p>A tree survey has been carried out by Sharon Hosegood Associates dated March 2022. The survey has been carried out to British Standard 5837 Trees in relation to design, demolition and construction- Recommendations 2012. I concur with the findings within the report and the tree quality classifications.</p> <p>Providing all sections of the report are adhered to, with emphasis on further enhanced ground protection at the ingress and egress, arboricultural method statements for all operations within the root protection areas, I hold no objections.</p>	<p>Comments have been taken into account. Appropriate conditions will be secured.</p>

Stakeholder (LBH)	Comments	Response
	<p>Drawings SHA 1391, SHA 1391 TPP11, & SHA 1391 TPP2 show the tree protection plans to be install prior to any development.</p> <p>There is a net gain of 20 trees and a comprehensive landscape plan. We will require a full planting specification, and a five-year aftercare management plan for the landscaping.</p>	
Flood and Water Management Officer	<p>Having reviewed the applicant's submitted Flood Risk Assessment and Drainage Statement report, reference number 4756-ROUN-ICS-XX-RP-C-07.001 dated 18th March 2022 prepared by Infrastruct CS Limited, we are generally content with the overall methodology as mentioned within the above documents, subject to following planning conditions relates to the Surface water Drainage Strategy and it's management and maintenance plan, which will need to be attached as a part of any consent on this planning application.</p> <p><u>Surface Water Drainage condition</u></p> <p>No development shall take place until a detailed Surface Water Drainage scheme for site has been submitted and approved in writing by the Local Planning Authority.</p> <p>The detailed drainage scheme shall demonstrate that :</p> <ul style="list-style-type: none"> i) The surface water generated by this development (For all the rainfall durations starting from 15 min to 10080 min and intensities up to and including the climate change adjusted critical 100 yr storm) can be accommodated and disposed of without discharging onto the highway and without increasing flood risk on or off-site. 	<p>Comments have been taken into account. Appropriate conditions will be secured.</p>

Stakeholder (LBH)	Comments	Response
	<p>ii) For the calculations above, we request that the applicant utilises more up to date FEH rainfall datasets rather than usage of FSR rainfall method</p> <p>iii) Any overland flows as generated by the scheme will need to be directed to follow the path that overland flows currently follow. A diagrammatic indication of these routes on plan demonstrating that these flow paths would not pose a risk to properties and vulnerable development.</p> <p>iv) The development shall not be occupied until the Sustainable Drainage Scheme for the site has been completed in accordance with the approved details and thereafter retained.</p> <p>Reason : To endure that the principles of Sustainable Drainage are incorporated into this proposal and maintained thereafter.</p> <p><u>Management and Maintenance condition</u></p> <p>Prior to occupation of the development hereby approved, a detailed management maintenance plan for the lifetime of the development, which shall include arrangements for adoption by an appropriate public body or statutory undertaker, management by Residents management company or other arrangements to secure the operation of the drainage scheme throughout the lifetime of the development. The Management Maintenance Schedule shall be constructed in accordance with the approved details and thereafter retained.</p> <p>REASON: To prevent increased risk of flooding to improve water quality and amenity to ensure future maintenance of the surface water drainage system</p>	

Stakeholder (LBH)	Comments	Response
Waste Management Officer	<p>I've reviewed documents and the number of bins and the proportion allocated for food waste and recycling follow Haringey's guidance and meet the requirements for a development of this size. There is however reference to 360l bins to be used for food waste but due to H&S concerns, this size container is no longer provided for this waste stream and we now provide 1 x 140l bin per 10 dwellings/flats. The frequency of collection is referenced as being a maximum of twice weekly for refuse and recycling, with food waste being collected weekly.</p> <p>It is noted that on collection day the facilities management will transfer residential bins to the temporary bin holding area. Also noted is that in para. 3.54 of The Roundway – Transport Assessment document, the residential refuse from the Block C and D bin store will be collected from the loading bay on Church Lane. The wheeling distance in this location is 14m (more than the 10m guidance) due to the need to set the building back to address LBH heritage comments and that LBH Waste Officers have confirmed that this distance is acceptable during pre-application scoping discussions.</p> <p>The bin stores should be secured and access given to residents only by preferably a fob/digilock rather than a key. This will help to reduce issues such as misuse of bins, fly tipping/other ASB. Fobs/codes will need to be shared with LBH prior to occupation.</p> <p>The commercial bin store in block C is separate from the residential bins as is required. Sizing/number of bins will very much depend on the type of businesses that occupy the space (108m²), the waste/recycling they generate and the contracts they put in place for the collection of this. Commercial waste collection companies will provide up to twice daily collections 7 days per week. I would however advise against sizing the bins store based on minimum size and maximum collections. The store should be sufficient to store waste for one week based on the following advised litres for different classes:</p> <p>Commercial waste provision has been calculated based on Westminster City Council (WCC) Recycling and Waste Storage Requirements (2021 which results in the waste</p>	Comments have been taken into account.

Stakeholder (LBH)	Comments	Response
	provision requirements proposed and assume no compaction and two days storage. The rationale behind these calculations make sense and it is initially proposed that a private waste contractor will collect the waste every two days. However, it would be worth considering additional waste and recycling storage for the businesses to keep vehicle movements and emissions to a minimum.	
Pollution Officer	Having considered all the submitted supportive information i.e. Design and Access Statement dated March 2022, Energy Strategy prepared by AJ Energy Consultants Ltd dated March 2022 taken note of section 10 (Renewables Detailed Proposal) using heat pumps and photovoltaic panels, Desk Study Report with reference ASL Report no: 285-21-088-11 prepared by ASL Limited dated September 2021 taken note of sections 9 (Assessment of Contamination Risk), 11 (Further Work) and 12 (Summary & Recommendations) as well as the Air Quality Assessment Report with reference AQ2032 prepared by GEM Air Quality Ltd dated March 2022 taken note of sections 4 (Assessment Methodology), 5 (Air Quality Assessment), 6 (Air Quality Neutral Assessment) and 7 (Conclusions & Recommendations), please be advise that we have no objection to the proposed development in relation to AQ and Land Contamination but the following planning conditions and informative are recommend should planning permission be granted. 1. Land Contamination Before development commences other than for investigative work: a. Using the information already submitted in Desk Study Report with reference ASL Report no: 285-21-088-11 prepared by ASL Limited dated September 2021, an intrusive site investigation shall be conducted for the site using information obtained from the desktop study and Conceptual Model. The site investigation must be comprehensive enough to enable; a risk assessment to be undertaken, refinement of the Conceptual Model, and the development of a Method Statement detailing the remediation requirements. b. The risk assessment and refined Conceptual Model shall be submitted, along with the site investigation report, to the Local Planning Authority which shall be submitted to, and approved in writing by, the Local Planning Authority prior to that remediation being carried out on site. c. Where	Comments have been taken into account. Appropriate conditions will be secured.

Stakeholder (LBH)	Comments	Response
	<p>remediation of contamination on the site is required, completion of the remediation detailed in the method statement shall be carried out and; d. A report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority before the development is occupied. Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety. 2. Unexpected Contamination If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this contamination will be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be implemented as approved. 2 Reasons: To ensure that the development is not put at unacceptable risk from, or adversely affected by, unacceptable levels water pollution from previously unidentified contamination sources at the development site in line with paragraph 109 of the National Planning Policy Framework. 3. Updated Air Quality Assessment Whilst the submitted Air Quality Assessment report with reference AQ2032 prepared by GEM Air Quality Ltd dated March 2022 is noted however, considering the distance of the proposed development to the monitoring sites used as baselines not fully representative of the development site which is beside a major road (A10) and the likely operational effect of the road on the proposed development occupiers, an updated AQ assessment will need to be conducted so as to determine the actual existing baseline concentration in other to know the level of mitigation that will be required for the various floors of the development. We also take note of the use of heat pumps and photovoltaic panels as energy source as well as the earthworks/construction dust medium risk. Therefore, in other to minimise increased exposure to existing poor air quality and make provision to address local problems of air quality (particularly within Air Quality Management Areas (AQMAs) where development is likely to be used by large numbers of those particularly vulnerable to poor air quality, such as children or older people), • Applicant will need to provide us an addendum AQ assessment of the proposed development taken into consideration the likely operational impact on the development by its proximity to a major busy road i.e.</p>	

Stakeholder (LBH)	Comments	Response
	<p>(A10) so as to be able to reach an inform decision on its significant effects on the proposed development site and the overall local air quality. • Actual baseline monitoring will need to be undertaking at or within the close proximity of the site itself rather than relying purely on baseline monitoring farther away from the site or Defra mapped background concentrations. • Applicant will need to provide a revised predicted NO2 Concentrations for the various building floors following such assessment. Reason: To Comply with Policy 7.14 of the London Plan and the GLA SPG Sustainable Design and Construction. 4. NRMM a. No works shall commence on the site until all plant and machinery to be used at the demolition and construction phases have been submitted to, and approved in writing by, the Local Planning Authority. Evidence is required to meet Stage IIIB of EU Directive 97/68/ EC for both NOx and PM. No works shall be carried out on site until all Non-Road Mobile Machinery (NRMM) and plant to be used on the site of net power between 37kW and 560 kW has been registered at http://nrmm.london/. Proof of registration must be submitted to the Local Planning Authority prior to the commencement of any works on site. b. An inventory of all NRMM must be kept on site during the course of the demolitions, site preparation and construction phases. All machinery should be regularly serviced and service logs kept on site for inspection. Records should be kept on site which details proof of emission limits for all equipment. This documentation should be made available to local authority officers as required until development completion. Reason: To protect local air quality and comply with Policy 7.14 of the London Plan and the GLA NRMM LEZ 5. Demolition/Construction Environmental Management Plans a. Demolition works shall not commence within the development until a Demolition Environmental Management Plan (DEMP) has been submitted to and approved in writing by the local planning authority whilst b. Development shall not commence (other than demolition) until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the local planning authority. The following applies to both Parts a and b above: 3 a) The DEMP/CEMP shall include a Construction Logistics Plan (CLP) and Air Quality and Dust Management Plan (AQDMP). b) The DEMP/CEMP shall provide details of how demolition/construction works are to be undertaken respectively and shall include: i. A construction method</p>	

Stakeholder (LBH)	Comments	Response
	<p>statement which identifies the stages and details how works will be undertaken; ii. Details of working hours, which unless otherwise agreed with the Local Planning Authority shall be limited to 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 on Saturdays; iii. Details of plant and machinery to be used during demolition/construction works; iv. Details of an Unexploded Ordnance Survey; v. Details of the waste management strategy; vi. Details of community engagement arrangements; vii. Details of any acoustic hoarding; viii. A temporary drainage strategy and performance specification to control surface water runoff and Pollution Prevention Plan (in accordance with Environment Agency guidance); ix. Details of external lighting; and, x. Details of any other standard environmental management and control measures to be implemented. c) The CLP will be in accordance with Transport for London's Construction Logistics Plan Guidance (July 2017) and shall provide details on: i. Dust Monitoring and joint working arrangements during the demolition and construction work; ii. Site access and car parking arrangements; iii. Delivery booking systems; iv. Agreed routes to/from the Plot; v. Timing of deliveries to and removals from the Plot (to avoid peak times, as agreed with Highways Authority, 07.00 to 9.00 and 16.00 to 18.00, where possible); and vi. Travel plans for staff/personnel involved in demolition/construction works to detail the measures to encourage sustainable travel to the Plot during the demolition/construction phase; and vii. Joint arrangements with neighbouring developers for staff parking, Lorry Parking and consolidation of facilities such as concrete batching. d) The AQDMP will be in accordance with the Greater London Authority SPG Dust and Emissions Control (2014) and shall include: i. Mitigation measures to manage and minimise demolition/construction dust emissions during works; ii. Details confirming the Plot has been registered at http://nrmm.london; iii. Evidence of Non-Road Mobile Machinery (NRMM) and plant registration shall be available on site in the event of Local Authority Inspection; iv. An inventory of NRMM currently on site (machinery should be regularly serviced, and service logs kept on site, which includes proof of emission limits for equipment for inspection); v. A Dust Risk Assessment for the works; and vi. Lorry Parking, in joint arrangement where appropriate. The development shall be carried out in accordance with the approved details as well as on the applicant submitted proposed</p>	

Stakeholder (LBH)	Comments	Response
	mitigation in the Air Quality Report i.e. in Figure 7.4.2 (Air Quality Neutrality) Additionally, the site or Contractor Company must be registered with the Considerate Constructors Scheme. Proof of registration must be sent to the Local Planning Authority prior to any works being carried out. Reason: To safeguard residential amenity, reduce congestion and mitigate obstruction to the flow of traffic, protect air quality and the amenity of the locality.” Informative: 1. Prior to the demolition of existing buildings, an asbestos survey should be carried out to identify the location and type of asbestos containing materials. Any asbestos containing materials must be removed and disposed of in accordance with the correct procedure prior to any demolition or construction works carried out.	
Noise Officer	The Noise Impact Assessment (SLR Ref403.12561.00001), submitted March 2022 outlines mitigation measures for the control of noise from the existing car wash and petrol station. The mitigations measures they have proposed are sound and achievable. We have no noise complaints on record and so have assumed that the hours they have stated the garage operates at 52 Lordship are accurate and therefore accept the assessment they have undertaken and the conclusions drawn for this noise source. Further assessment of this source may be required in the event there is no restriction on their operating times. The applicant will be required to confirm specifically the measures they will implement based on those recommended in the report. The recommended condition for control of noise from mechanical plant associated with the site (see section 6.3.5) should be included in any permission granted. It would be helpful to include an informative that outlines they may be required to take additional corrective measures in the event the levels specified in the condition are exceeded. I have no objections to the development in principle on the proviso control of noise measures are undertaken as outlined in the report provided.	Comments have been taken into account. Appropriate conditions will be secured.
		Noted.

<i>Stakeholder (LBH)</i>	<i>Comments</i>	<i>Response</i>
LBH Building Control	Although Fire Service access needs to be clarified, in particular to Block D, there are no other issues noted at this stage regarding fire safety. It is noted that the fire strategy has been checked by Fire Engineers BB7, and will be subject to a detailed check when the application is formally submitted under the Building Regulations.	

<i>Stakeholder (External)</i>	<i>Comments</i>	<i>Response</i>
Historic England	Historic England provides advice when our engagement can add most value. In this case we are not offering advice. This should not be interpreted as comment on the merits of the application.	Comments noted.
Historic England (GLAAS)	I have examined the submitted archaeological DBA and geotechnical logs. In view of extensive evidence of past disturbance, I recommend that archaeological investigation is not appropriate in this case.	Comments noted.
London Fire Brigade	No comments received.	Noted.
Transport for London	<p>Thank you for consulting TfL. Regarding the above application, we have the following comments:</p> <ol style="list-style-type: none"> 1) The development site is located off the A10 the Roundway, which bounds the site to the south and to the west. The A10 The Roundway forms part of the Transport for London Road Network (TLRN). The site is bound by Church Lane to the east and a petrol station to the north. Access into the site is achieved from The Roundway and Church Lane. TfL is the highway authority for the TLRN, and is therefore concerned about any proposal which may affect the performance and/or safety of the TLRN. 2) TfL welcomes that the development is proposed to be car free except for 4 blue badge spaces, in line with London Plan Policy T6 (Car Parking). Due to the low levels of parking proposed, TfL request that all 4 blue badge spaces are provided with active electrical vehicle charging points from the outset. 	Comments have been taken into account and conditions and planning obligations will be secured as appropriate.

	<p>3) The development proposes a total of 139 long stay spaces for both the residential and non-residential elements and a further 24 short stay spaces, this is in line with the minimum requirements set out in London Plan Policy T5 (Cycling). TfL request that the applicant provides five per cent of the long stay cycle parking to be accessible spaces which can accommodate larger cycles, including cargo cycles and adapted cycles for disabled people TfL strongly support that the applicant is not relying on two-tier cycle racks in the proposed cycle stores TfL request that the long stay and short stay cycle parking is secured by condition, clearly setting out the proposed design and layouts of the cycle stores, in line with the requirements set out in chapter 8 of the London Cycling Design Standards.</p> <p>4) TfL support that the applicant is proposing to widen several footways around and in the development site and welcome the proposal of a new east-west pedestrian link. - It is welcomed that an ATZ assessment has been conducted and TfL would support Haringey Council securing a number of the improvements identified in the ATZ which would improve the connection and route for both cyclists and pedestrians from the development in accordance with London Plan Policies T2 (Healthy Streets), D7 (Public realm) and T1 (Strategic approach to transport).</p> <p>5) TfL welcome the comprehensive measures set out in the Delivery and Servicing Plan, in line with our advice in pre-application discussions</p> <p>6) TfL welcome that both a residential and workplace travel plan has been submitted for the development - TfL request that the applicant provides a bike repair kit for the residential cycle stores, as well as the workplace cycle stores</p> <p>7) During pre-application discussion with the applicant, TfL requested that a Road Safety Audit (RSA) was undertaken and shared with TfL safety experts on the</p>	
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	<p>proposed loading bay on the A10. An RSA is required alongside the application. The applicant will need to agree with TfL the RSA auditors are suitable qualified and we should agree the scope of RSA. In this case should include the relocated VMS, which also shows the drivers view as well as the plans</p> <p>8) Regarding the relocating of the Variable Message Sign, any permission granted for this development will need to secure the cost of removal and reprovision of a replacement at a new, agreed location via an appropriately worded condition and/or planning obligation, to ensure TfL is not liable to unwanted cost.</p> <p>9) In pre-application discussion, TfL recommended that the loading bay on Church Lane should be restricted during peak hours to minimise potential conflicts between delivery and servicing and cyclists at the busiest time. In the documents provided, there does not seem to be any mention of this, TfL request that the applicant clarifies if this safety measure can be implemented. The applicant must provide robust justification if they refuse to implement this.</p> <p>10) The applicant must clarify the remaining proposed footway widths during construction periods on both The Roundway and Lordship Lane</p> <ul style="list-style-type: none"> - Regarding the proposed hoarding during the construction stage, TfL request that the applicant uses a soft light pastel colour, in order in order to reduce security risks and concerns to pedestrians. We also request that the applicant proposes a maintenance plan for the hoarding, in order to reduce impact of potential graffiti <p>11) A detailed Construction Logistics plan must be secured by condition and produced in accordance with TfL best practice guidance.</p> <ul style="list-style-type: none"> - Further discussions between TfL and the applicant may be required should the applicant require a pit lane on the A10 during construction, or on Church Street and Cycleway 1, to ensure the safety of pedestrians, cyclists and traffic on the 	
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	<p>TLRN in line with policy T7 (Deliveries, servicing and construction) of the London Plan and policy 3 (Vision Zero) of the Mayors Transport Strategy (MTS).</p> <p>TfL request that the above is addressed by the applicant before we can fully support the proposal</p>	
Environment Agency	<p>Thank you for consulting us on this planning application. Having reviewed the submitted Flood Risk Assessment (FRA) we object to this planning application. The FRA titled 'FLOOD RISK ASSESSMENT AND DRAINAGE STATEMENT' (ref: 4756-ROUN-ICS-XX-RP-C-07.001, dated: March 2022) does not provide any information on the development's proximity to the Moselle Brook which is in close proximity to this site. Further information would be required to identify the exact location of this watercourse and we may need further information to show that the proposed development would not have an adverse impact on this culvert. Please see further detail in the objection below. Reason: This application may involve works within 8 metres of a culverted watercourse (The Moselle Brook). As submitted, it is unlikely that we would grant a flood risk activity permit (FRAP) for this application. In addition the proposal does not comply with the requirements for planning, as set out in paragraphs 149 to 157 of the Flood Risk and Coastal Change section of the planning practice guidance. This is because the applicant has not adequately assess the development's impact on proximity to the culvert. More specifically the applicant has failed to provide the following information: 1. The applicant has not provided a map showing the exact location of the culvert in relation to the development and the applicant has not assessed whether an 8m buffer zone will be provided between the outer edge of the culvert and the proposed development. 2. The applicant has not shown that access to the culvert will be maintained post construction. The applicant has not considered the space required (8m) for future culvert maintenance or replacement, including the use of vehicles and heavy duty machinery. 3. The applicant has not demonstrated that the current condition of the culvert is sufficient and will be maintained for the</p>	<p>Comments have been taken into account. Informative will be secured.</p>

	<p>lifetime of the development. . The applicant has not demonstrated that there will be no adverse effects on the structural integrity of the culvert. Overcoming our objection: The applicant will firstly need to provide the information outlined in point 1 above. More specifically the applicant must provide a map showing the exact location of the culvert in relation to the development. Our records indicate that the culvert is owned and maintained by Thames Water. Thames Water may have a culvert plan on record as it is their asset. We will need to know the exact distance between the outer edge of the culvert and the development. We would expect the applicant to demonstrate that an 8m buffer zone will be provided between the outer edge of the culvert and the proposed development. If an 8 metre buffer zone cannot be achieved the applicant must demonstrate that the proposed development will not increase the likelihood of structural failure due to additional loading which poses the risk of collapse and potential blockages, increasing flood risk. To do this the applicant would need to provide the missing information outlined in points 2 through to 4. The applicant will need to use the culvert survey to inform the depth of any foundations/piles. To reduce loading on the culvert, foundations/piles should be laid deeper than the culvert. Dependent on the extent of excavation / piling/ foundations, we will also require the applicant to submit a recent condition survey of the culvert which demonstrates that the culvert is in sufficient condition. If the culvert condition is insufficient, its condition must be improved before we can consider the proposal acceptable. This could be done through maintenance, upgrade or replacement as appropriate. The applicant should note that a FRAP may be required for certain survey works. Finally, if the applicant can demonstrate that the proposed development will be set back more than 8m from the outer edge of the culvert then the information outlined in points 2 through to 4 will not be required. Final comments: In accordance with the planning practice guidance (determining a planning application, paragraph 019), please notify us by email within two weeks of a decision being made or application withdrawn. Please provide us with a URL of the decision notice, or an electronic copy of the decision notice or outcome. If you are minded to approve the application contrary to our objection, please contact us to explain why material considerations outweigh our objection. This will allow us to make further</p>	
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	<p>representations. Should our objection be removed, it is likely we will recommend the inclusion of conditions on any subsequent approval.</p> <p>Amended comments:</p> <p>We have reviewed the document titled Flood Risk Assessment and Drainage Statement (ref: 4756-ROUN-ICS-XX-RP-C-07.001, dated: May 2022) and consider that it satisfactorily addresses our earlier concerns. We therefore would like to withdraw our previous objection dated 12 May 2022. We ask that you include the below informative in any decision notice. Environmental permit - advice to applicant The Environmental Permitting (England and Wales) Regulations 2016 require a permit to be obtained for any activities which will take place: • on or within 8 metres of a main river (16 metres if tidal) • on or within 8 metres of a flood defence structure or culverted main river (16 metres if tidal) • on or within 16 metres of a sea defence • involving quarrying or excavation within 16 metres of any main river, flood defence (including a remote defence) or culvert • in a floodplain more than 8 metres from the river bank, culvert or flood defence structure (16 metres if it's a tidal main river) and you don't already have planning permission For further guidance please visit https://www.gov.uk/guidance/flood-risk-activitiesenvironmental-permits or contact our National Customer Contact Centre on 03708 506 506. The applicant should not assume that a permit will automatically be forthcoming once planning permission has been granted, and we advise them to consult with us at the earliest opportunity.</p>	
Thames Water	<p>Waste Comments Thames Water would advise that with regard to FOUL WATER sewerage network infrastructure capacity, we would not have any objection to the above planning application, based on the information provided. Thames Water would advise that with regard to SURFACE WATER network infrastructure capacity, we would not have any objection to the above planning application, based on the information provided. There are public sewers crossing or close to</p>	<p>Comments have been taken into account. The recommended conditions and</p>

	<p>your development. If you're planning significant work near our sewers, it's important that you minimize the risk of damage. We'll need to check that your development doesn't limit repair or maintenance activities, or inhibit the services we provide in any other way. The applicant is advised to read our guide working near or diverting our pipes. https://www.thameswater.co.uk/developers/larger-scale-developments/planning-yourdevelopment/working-near-our-pipes The proposed development is located within 15 metres of our underground waste water assets and as such we would like the following informative attached to any approval granted. "The proposed development is located within 15 metres of Thames Waters underground assets and as such, the development could cause the assets to fail if appropriate measures are not taken. Please read our guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures.https://developers.thameswater.co.uk/Developing-a-large-site/Planning-yourdevelopment/Working-near-or-diverting-our-pipes. Should you require further information please contact Thames Water. Email: developer.services@thameswater.co.uk Phone: 0800 009 3921 (Monday to Friday, 8am to 5pm) Write to: Thames Water Developer Services, Clearwater Court, Vastern Road, Reading, Berkshire RG1 8DB Water Comments The proposed development is located within 15m of a strategic water main. Thames Water request that the following condition be added to any planning permission. No piling shall take place until a piling method statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface water infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement. Reason: The proposed works will be in close proximity to underground water utility infrastructure. Piling has the potential to impact on local underground water utility infrastructure. Please read our guide 'working near our assets' to ensure your workings will be in line with the necessary processes you need to follow if you're considering working above or</p>	<p>informative will be secured.</p>
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	<p>near our pipes or other structures.</p> <p>https://www.thameswater.co.uk/developers/larger-scale-2developments/planning-your-development/working-near-our-pipes Should you require further information please contact Thames Water.</p> <p>Email: developer.services@thameswater.co.uk If you are planning on using mains water for construction purposes, it's important you let Thames Water know before you start using it, to avoid potential fines for improper usage. More information and how to apply can be found online at thameswater.co.uk/buildingwater. There are water mains crossing or close to your development. Thames Water do NOT permit the building over or construction within 3m of water mains. If you're planning significant works near our mains (within 3m) we'll need to check that your development doesn't reduce capacity, limit repair or maintenance activities during and after construction, or inhibit the services we provide in any other way. The applicant is advised to read our guide working near or diverting our pipes.</p> <p>https://www.thameswater.co.uk/developers/larger-scale-developments/planning-yourdevelopment/working-near-our-pipes On the basis of information provided, Thames Water would advise that with regard to water network and water treatment infrastructure capacity, we would not have any objection to the above planning application. Thames Water recommends the following informative be attached to this planning permission. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.</p>	
<p>Metropolitan Police Designing Out Crime Officer</p>	<p><u>Section 1 - Introduction:</u></p> <p>Thank you for allowing us to comment on the above planning proposal.</p> <p>With reference to the above application we have had an opportunity to examine the details submitted and would like to offer the following comments, observations and</p>	<p>Comments have been taken into account. The recommended conditions and</p>

	<p>recommendations. These are based on relevant information to this site (Please see Appendices), including my knowledge and experience as a Designing Out Crime Officer and as a Police Officer.</p> <p>It is in our professional opinion that crime prevention and community safety are material considerations because of the mixed use, complex design, layout and the sensitive location of the development. To ensure the delivery of a safer development in line with L.B. Haringey DMM4 and DMM5 (See Appendix), we have highlighted some of the main comments we have in relation to Crime Prevention (Appendices 1).</p> <p>We have met with the project Architects to discuss Crime Prevention and Secured by Design at both feasibility and pre-application stage and have discussed our concerns and recommendations around the design and layout of the development. The Architects have made mention in the Design and Access Statement referencing design out crime or crime prevention and have stated that they will be working in close collaboration with DOCOs to ensure that the development is designed to reduce crime at detailed design stage. At this point it can be difficult to design out fully any issues identified. At best crime can only be mitigated against, as it does not fully reduce the opportunity of offences.</p> <p>Whilst in principle we have no objections to the site, we have recommended the attaching of suitably worded conditions and an informative. The comments made can be easily be mitigated early if the Architects/Developers ensure the ongoing dialogue with our department continues throughout the design and build process. This can be achieved by the below Secured by Design conditions being applied (Section 2). If the Conditions are applied, we request the completion of the relevant SBD application forms at the earliest opportunity.</p> <p>The project has the potential to achieve a Secured by Design Accreditation if advice given is adhered to.</p>	<p>informatives will be secured.</p>
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	<p><u>Section 2 - Secured by Design Conditions and Informative:</u></p> <p>In light of the information provided, we request the following Conditions and Informative:</p> <p><u>Conditions:</u></p> <p>A. Prior to the commencement of above ground works of each building or part of a building, details shall be submitted to and approved, in writing, by the Local Planning Authority to demonstrate that such building or such part of a building can achieve 'Secured by Design' Accreditation. Accreditation must be achievable according to current and relevant Secured by Design guide lines at the time of above grade works of each building or phase of said development.</p> <p>The development shall only be carried out in accordance with the approved details.</p> <p>B. Prior to the first occupation of each building, or part of a building or its use, 'Secured by Design' certification shall be obtained for such building or part of such building or its use and thereafter all features are to be retained.</p> <p>C. The Commercial aspects of the development must achieve the relevant Secured by Design certification at the final fitting stage, prior to the commencement of business and details shall be submitted to and approved, in writing, by the Local Planning Authority.</p> <p><u>Informative:</u></p> <p>The applicant must seek the continual advice of the Metropolitan Police Service Designing Out Crime Officers (DOCOs) to achieve accreditation. The services of</p>	
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	<p>MPS DOCOs are available free of charge and can be contacted via docomailbox.ne@met.police.uk or 0208 217 3813.</p> <p><u>Section 3 - Conclusion:</u></p> <p>We would ask that our department's interest in this planning application is noted and that we are advised of the final Decision Notice, with attention drawn to any changes within the development and subsequent Condition that has been implemented with crime prevention, security and community safety in mind.</p>	
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Appendix 4 – Summary of Representations from Residents

LOCAL REPRESENTATIONS:	Summary of objection	Response
<p>5 INDIVIDUAL RESPONSES</p> <p>3 IN OBJECTION/ COMMENT</p> <p>2 IN SUPPORT</p>	<p>Material planning considerations</p> <ul style="list-style-type: none"> Excessive size and scale Inappropriate design Out of keeping with local character Negative impact on local heritage 	<ul style="list-style-type: none"> The development is not significantly greater in height than other buildings in the surrounding area. Its detailed design would minimise its apparent scale and massing. It would not dominate the plot or the locale and would not constitute overdevelopment of the site. The development would have a contemporary appearance and takes cues from the heritage characteristics in the surrounding area. The design has general support from the Quality Review Panel and the Council's Design Officer. The potential heritage impact of the development has been considered from an early pre-application stage and the scale and massing of the development has been reduced to minimise the impact on local heritage whilst also ensuring the development is viable enough to meet other policy requirements. There would be some limited heritage impact but this would be at the moderate level of less than substantial harm and is outweighed by the benefits of the development.

	<ul style="list-style-type: none"> • Insufficient parking provision 	<ul style="list-style-type: none"> • A parking survey has shown there is ample parking availability on-street to accommodate overspill parking. The provision of off-site parking spaces is supported in this case, on balance, given the other benefits of the proposal including the development of a vacant site and provision of affordable housing.
	<p>Non-planning considerations</p> <ul style="list-style-type: none"> • Alternative designs should be considered 	<ul style="list-style-type: none"> • This application must be considered on the basis of the designs put forward by the applicant.

Appendix 5 – Quality Review Panel Reports

Panel Review 1

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Haringey Quality Review Panel

Report of Formal Review Meeting: The Roundway

Wednesday 13 October 2021
Zoom video conference

Panel

Peter Studdert (chair)
Phil Armitage
Martha Alker
Phyllida Mills
David Ubaka

Attendees

Kevin Tohill	London Borough of Haringey
Richard Truscott	London Borough of Haringey
Chris Smith	London Borough of Haringey
Sarah Carmona	Frame Projects
Adela Paparisto	Frame Projects

Apologies / report copied to

Rob Krzyszowski	London Borough of Haringey
Robbie McNaugher	London Borough of Haringey
John McRory	London Borough of Haringey
Deborah Denner	Frame Projects

Confidentiality

This is a pre-application review, and therefore confidential. As a public organisation Haringey Council is subject to the Freedom of Information Act (FOI), and in the case of an FOI request may be obliged to release project information submitted for review.

Declarations of interest

Quality Review Panel member Phil Armitage is currently working on a project which is currently on site, in which Glenn Howells Architects are also involved.

Report of Formal Review Meeting
13 October 2021
HQRP118_The Roundway

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1. Project name and site address

The Roundway, 313-315 The Roundway, London, N17

2. Presenting team

Holly Mitchell	Simply Planning
Lee Fitzpatrick	Lindhill
Luke Ttakoushis	Lindhill
David Henderson	Glenn Howells Architects
Alex Smith	Glenn Howells Architects
Issy Spence	Glenn Howells Architects
Chris Horn	Chris Horn Associates.co.uk
Franca Carassai	Campbell Cadey
Ruth Campbell	Campbell Cadey
Jacob Friedman	The Bellview Group

3. Aims of the Quality Review Panel meeting

The Quality Review Panel provides impartial and objective advice from a diverse range of experienced practitioners. This report draws together the panel's advice and is not intended to be a minute of the proceedings. It is intended that the panel's advice may assist the development management team in negotiating design improvements where appropriate and in addition may support decision-making by the Planning Committee, in order to secure the highest possible quality of development.

4. Planning authority briefing

The development site is a 0.32 hectare angular plot of land located within an 'island site' created by Lordship Lane, Church Lane, All Hallows Road and The Roundway. It has a substantial frontage onto both The Roundway and Church Lane, as well as fronting onto Lordship Lane. The site has a PTAL of 5. The majority of this 'island' location is designated as Site Allocation SA63, which includes the development site, the petrol station on Roundway, an electricity sub-station on Church Lane and other nearby vehicle garages. The Allocation identifies the site for mixed-use employment-led development, and also requires an east-west cycle connection.

The site is located in close proximity to several heritage designations including Bruce Castle and Tower (Grade I Listed) and its adjacent boundary wall (Grade II Listed), the Bruce Castle and Peabody Cottages Conservation Areas, and several locally listed buildings, including the nursery to the north and The Elmhurst public house to the south. The site is also within an Archaeological Priority Area. Adjacent to the site are two Historic Parks, Metropolitan Open Land, a Grade II SINC, a Local View Corridor (no. 19 unfolding view of Alexandra Palace from Bruce Castle) and a Critical Drainage Area. The character of the surrounding area is unique and varied.

The scheme is car-free and has elements ranging from three to five storeys. It would be predominantly finished in red brick with dark grey cladding to the roof element. The



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brief includes 77 dwellings, including 18 per cent family-sized units and 23 per cent affordable housing (with 60 per cent affordable rent units). 525sqm of commercial space in the form of workspace and a retail unit is also included. The scheme is supported by a masterplan which considers potential future development options for all land within the site allocation area.

Officers seek the panel's views on the scale and massing of the proposals on Lordship Lane and Church Lane, the detailed design and materiality, heritage impact, detailed layout, sustainability, and parking.

5. Quality Review Panel's views

Summary

The Quality Review Panel welcomes the opportunity to review the proposals for The Roundway, and thanks the project team for the comprehensive presentation. It is a very difficult site and the panel commends the project team for their work to date. The proposals have clearly evolved over the last month and are beginning to resolve some of the challenges seen in earlier scheme drawings.

The panel thinks that the current proposals represent a good starting point for the development, but there is still a great deal of design work required to address some outstanding problems, particularly in relation to the three-dimensional form, the detailed layout, the architectural expression and the landscape proposals. Further work is also needed to improve the quality of accommodation generally and to ensure that the scheme does not have a negative visual impact on heritage assets locally, either from nearby or within longer views. It would also encourage the project team to inject some elegance and distinctiveness at the prominent corner on Lordship Lane.

Further details on the panel's views are provided below.

Massing and development density

- The panel feels that a proposed scale, with four storeys plus one set-back at roof level on The Roundway and three storeys plus one set-back on Church Lane, is a sensible starting point for analysis and testing of the visual impact of the proposals within the heritage setting. However, until such analysis and testing are undertaken, it is not possible for the panel to definitively assess whether the current scale is acceptable.
- The primary corner of the site at Lordship Lane requires further consideration. The panel would like to see the height reduce to four plus one set-back storey rather than five full storeys, and the building itself visually turn the corner with a less strident and more elegant architectural language.
- The panel notes that the additional structures at roof level – including plant, photovoltaic panels, and balustrades or raised parapets – could result in the



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perceived massing being a storey higher than proposed, which is not currently shown within drawings.

- At a detailed level, the three-dimensional modelling and articulation of the proposals should respond more to the elegant and richly detailed forms of the surrounding buildings, rather than adopting the more 'generic' approach shown in the presentation.

Heritage issues

- The site is surrounded by important heritage assets, and a more thorough analysis of the visual impact of the proposals will be needed from a variety of viewpoints, both locally and further afield. As part of this work, the panel would like to see views over the houses from the conservation area. It notes that views showing the visual impact in winter – when the trees have no canopies – will be important.

Commercial uses

- The panel is not yet convinced by the workspace allocations within the proposals, in terms of use and location. Designation of the ground floor as Class E may be the best approach, so that the future use can respond to market conditions.
- The panel agrees that avoiding residential development on the ground floor of The Roundway is sensible.

Scheme layout

- Due to the configuration of the site, there are some difficult challenges in terms of how the development will relate to the existing uses adjacent: the panel notes that there is no guarantee that the remaining plots of land within the urban block will come forward for redevelopment, so the proposals should be able to stand upon their own merits as a separate development. In this regard, the panel is not yet convinced by the southern section of the scheme.
- Regard should be given to the parts of the proposals that are located very close to existing non-residential uses, to ensure that the floorplans and building footprints are adjusted where necessary to achieve a greater separation.
- The panel welcomes the variation in building lines along Church Lane, where the new development steps back to align with the nursery, and steps forward to align with the substation.
- The little courtyard in the centre of the site looks very promising.



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- Removing the building entrance at the northern end of the courtyard would enable more generosity in the entrance off Church Lane, which would also reinforce Church Lane as the address of this section of development.
- The panel welcomes the creation of the east-west pedestrian route through the site but would encourage further exploration of the scale of the opening between the buildings, in addition to consideration of how it will connect to local desire lines.
- The panel would encourage further consideration of the planform of the proposals, to improve the liveability and generosity of circulation spaces and the interiors of flats. It highlights that the current proposals include long corridors and rooms, with low light levels. Improving the configuration at a detailed level will have a significant effect on the basic layout of the scheme, so this exercise needs to be undertaken at the earliest opportunity.
- Further consideration should also be given to the entrance lobbies and entrance experience, in terms of how residents and visitors will access secure cycle parking, and where the post-boxes and parcels will be located. The panel notes that the cycle storage is quite peripheral and it feels that this should be better integrated and more convenient to access.
- The work is also required to improve the quality of the accommodation. The proportion of single aspect flats is too high, with a number of them south-facing, so vulnerable to overheating, while others are located very close to relatively 'unfriendly' uses like a petrol filling station or a car wash. More work is needed to adjust the floorplans and detailed configuration, to reduce the number of single aspect units and to optimise the design of the facades to achieve shading and cooling.

Architectural expression

- Given the scheme's location among some significant heritage assets, the architectural expression should be not only be visually 'polite' but should also add something special to the townscape. An approach that seeks to achieve simple but delicately wrought buildings would be supported by the panel.
- The setting is close to several heavily trafficked roads and will likely be a noisy environment. The panel would like to see the design of the elevations respond to – and mitigate – the constraints of noise and air quality.
- The panel is not yet convinced by the overall architectural expression of the proposal and would welcome more analysis to inform the design of the facades, so that they can better reflect the rich detailing and expressiveness of significant local buildings.



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- Balcony enclosures should be carefully detailed, to ensure a good balance between openness and screening. Balcony details also provide opportunities for bespoke and distinctive craftsmanship.

Public realm and landscape design

- The panel welcomes many of the ideas within the public realm proposals and thinks that the ramp and the pedestrian route through the centre of the site hold a lot of promise. It would encourage the project team to undertake wider analysis to establish how the route fits in with wider routes, informal crossings and places of safety, bus stops and the loading bay, and to ensure that all of these elements and routes into, through and out of the site are in the correct place.
- The panel notes that the urban greening factor requirement for the site is 0.4, not 0.3 (as proposed), so 30% more greening will be required, which will have a significant impact upon the landscape and floor plans of the development.
- The panel would like to know more about the arrangements for access to and maintenance of the gardens – at grade and at roof level – including how communal access will be controlled, who will maintain the gardens, and what equipment will be required.
- The panel highlights that the microclimate of the gardens at grade and at roof level will impact upon how active and populated they are: if they are windy or shady then people will not want to spend much time there.
- Lift overruns should be shown on the drawings, as these will have an impact on the microclimate at roof level.
- An increase in the amount of greening at roof level would be welcomed.
- The panel questions how secure the ancillary spaces will be, and notes that landscaped frontages and railings might be a sensible addition.

Inclusive and sustainable design

- A low / zero carbon approach to design should inform the earliest strategic design decisions and should be part of the ongoing narrative as the scheme continues to evolve. The panel would like to see a target driven approach to sustainable design adopted.
- Noise from Lordship Lane and the roundabout will have a significant impact on the scheme, and the panel would like to see how the proposals will mitigate traffic noise, especially in the more exposed areas of the development.
- Consideration of operational energy requirements should start with a 'fabric first' approach – optimising the performance and design of the building envelope, components, and materials to achieve sustainable and energy-



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efficient design. Making use of renewable energy sources, natural light, cross ventilation, and nature will also form part of this work.

- Recessed balconies are a useful mitigation element, but the panel would encourage the project team to further optimise the glazing, shading and ventilation of all facades. It notes that some of the elevations look the same but will have very different needs in terms of the microclimate.
- The panel notes that the top floor of the development does not look as well-protected from the sun as other floors.
- Careful management of trees over the long term can help to strike a delicate balance between achieving a good level of shading, while allowing adequate daylight penetration into dwellings.
- The panel welcomes the adoption of an all-electric approach to heat generation. However, it notes that the needs of air source heat pumps are very different to gas heating, and this should be anticipated and accommodated within the design of the dwellings at an early stage.
- The panel would like to know more about the design of the roof area, especially in terms of the provision of photovoltaic panels (PVs). It notes that there can be a tension between the use of roofs for amenity and for PVs and careful consideration is required to strike a successful balance.

Next steps

- The panel would welcome a further opportunity to review the proposals at a chair's review. It highlights a number of action points for consideration by the design team, in consultation with Haringey officers.
- It also offers a focused chair's review specifically on the approach to low carbon design and environmental sustainability.



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Appendix: Haringey Development Management DPD**Policy DM1: Delivering high quality design****Haringey Development Charter**

- A All new development and changes of use must achieve a high standard of design and contribute to the distinctive character and amenity of the local area. The Council will support design-led development proposals which meet the following criteria:
- a Relate positively to neighbouring structures, new or old, to create a harmonious whole;
 - b Make a positive contribution to a place, improving the character and quality of an area;
 - c Confidently address feedback from local consultation;
 - d Demonstrate how the quality of the development will be secured when it is built; and
 - e Are inclusive and incorporate sustainable design and construction principles.

Design Standards**Character of development**

- B Development proposals should relate positively to their locality, having regard to:
- a Building heights;
 - b Form, scale & massing prevailing around the site;
 - c Urban grain, and the framework of routes and spaces connecting locally and more widely;
 - d Maintaining a sense of enclosure and, where appropriate, following existing building lines;
 - e Rhythm of any neighbouring or local regular plot and building widths;
 - f Active, lively frontages to the public realm; and
 - g Distinctive local architectural styles, detailing and materials.



Panel Review 2

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Haringey Quality Review Panel

Report of Chair's Review Meeting: The Roundway

Wednesday 2 March 2022
The Grange Community Hub, 32 White Hart Lane, N17 8DP

Panel

Peter Studdert (chair)
Tim Pitman

Attendees

Richard Truscott	London Borough of Haringey
Chris Smith	London Borough of Haringey
Oscar Gregersen	London Borough of Haringey
Joe Brennan	Frame Projects
Deborah Denner	Frame Projects
Cindy Reriti	Frame Projects

Apologies / report copied

Suzanne Kimman	London Borough of Haringey
Rob Krzyszowski	London Borough of Haringey
Robbie McNaugher	London Borough of Haringey
John McRory	London Borough of Haringey
Elizabetta Tonazzi	London Borough of Haringey

Confidentiality

This is a pre-application review, and therefore confidential. As a public organisation Haringey Council is subject to the Freedom of Information Act (FOI), and in the case of an FOI request may be obliged to release project information submitted for review.

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1. Project name and site address

The Roundway, 313-315 The Roundway, London, N17

2. Presenting team

David Henderson	Glenn Howells Architects
Issy Spence	Glenn Howells Architects
Lee Fitzpatrick	Lindhill
Luke Ttakoushis	Lindhill
Chris Horn	Chris Horn Associates
Jon Lowe	Jon Lowe Heritage Ltd
Holly Mitchell	Simply Planning

3. Aims of the Quality Review Panel meeting

The Quality Review Panel provides impartial and objective advice from a diverse range of experienced practitioners. This report draws together the panel's advice and is not intended to be a minute of the proceedings. It is intended that the panel's advice may assist the development management team in negotiating design improvements where appropriate and in addition may support decision-making by the Planning Committee, in order to secure the highest possible quality of development.

4. Planning authority briefing

The development site is a 0.32 hectare angular plot of land located between Lordship Lane, Church Lane, All Hallows Road and The Roundway. It forms part of Site Allocation SA63, which includes the development site, the petrol station on Roundway, an electricity sub-station on Church Lane and other nearby vehicle garages. The Allocation identifies the site for mixed-use employment-led development, and also requires an east-west cycle connection.

The site is located in close proximity to Bruce Castle and Tower (Grade I Listed) and its adjacent boundary wall (Grade II Listed), the Bruce Castle and Peabody Cottages Conservation Areas, and several locally listed buildings, including the nursery to the north and The Elmhurst public house to the south. It is also within an Archaeological Priority Area. Adjacent to the site are two Historic Parks, Metropolitan Open Land, a Grade II SINC, a Local View Corridor (no. 19 unfolding view of Alexandra Palace from Bruce Castle) and a Critical Drainage Area. The character of the surrounding area is unique and varied.

The scheme is car-free and has elements ranging from three to five storeys. The brief includes 76 dwellings, including 12 per cent family-sized units and 23 per cent affordable housing. 600sqm of commercial space in the form of workspace and a retail unit is also included. The applicant has produced a masterplan which considers potential future development options for all land within the site allocation area. Officers seek the panel's comments on the detailed design and materiality and heritage impact of the proposals. Comments are also sought the location of blue badge car parking.



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5. Quality Review Panel's views*Summary*

The panel finds much to admire in the proposed design and offers some comments where it feels there is scope for refinement at a detailed level. It supports the scale and massing, the brick materiality, and welcomes the careful thought that has been given to landscape design. It feels that the architectural expression sits comfortably in the surrounding townscape, but would encourage a more confident approach to the southwest corner. It also suggests exploring semi-recessed balconies on the elevation facing Bruce Castle, and feels that entrances to Block D would be better located on Church Lane. The panel is confident that the design team will be able to address these minor comments, in consultation with planning officers.

Plan and layout of units in Block D

- The panel welcomes the improved layout of the units in Block D. Moving the living spaces to the east, facing onto Church Lane, will provide residents with views of the street and to Bruce Castle and the park beyond.
- While the panel appreciates the design team's consideration of the long-term masterplan there is no guarantee that the Shell Petrol Station site will be redeveloped.
- It feels that Block D would benefit from moving the entrances to the east, to activate Church Lane and improve the legibility of the homes for postal and other deliveries.

Architectural expression and materiality

- The panel supports the scale of the proposals and welcomes the visually 'polite' architecture which sits comfortably within the wider context of surrounding conservation areas.
- It welcomes the design development of the east façade facing Bruce Castle, but encourages further thought about integrating the balconies into the architecture.
- Semi-recessed balconies could respond more appropriately to the Grade I listed Bruce Castle, and would also partially screen any residents' belongings, which are often stored on balconies.
- The panel supports further development of the proposed metal railings. The inclusion of bespoke and distinctively crafted elements will add welcome visual interest and elegance to the scheme.
- It welcomes the presentation of the design options considered for the prominent southwest corner of the scheme, facing onto Lordship Lane, and supports the design team's decision to integrate the balconies with the brickwork.



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- The panel noted the opportunity to enhance the architecture through the materials and detailing of the balcony soffits, particularly those on the Lordship Lane corner.
- This corner would benefit from a more confident expression, and the panel would encourage exploration of different materials, more detailed brickwork, and/or the addition of an element of decoration.
- The developing architecture and materiality have the potential to work well, with the specification of high-quality materials and carefully considered detail design.
- As part of this process, careful thought should be given to the location of the rooftop photovoltaic panels and their ongoing maintenance. The aim should be to avoid visibility of the panels and/or any safety railings required to meet Health and Safety regulations.

Landscape design and parking

- The panel applauds the retention of mature trees on The Roundway, with enhanced planting, and similar attention to the landscape setting of the scheme on Church Lane.
- Because of this, it strongly supports the proposed location of the blue badge car parking on Church Lane. This allows space for trees and planting which will both enhance the streetscape, and quality of life for residents.

Ground floor use

- The panel agrees with the decision to provide non-residential uses at ground floor level facing The Roundway.
- This is currently shown as workspace / retail on the plans. However, retail may not be successful given the low pedestrian footfall and the lack of car parking in the area.
- A restaurant or cafe may be more viable than retail, and could also enliven the corner facing Lordship Lane.

Tenure

- The panel recommends that Block D is allocated to private sale units, to ensure that all potential occupants have a choice as to whether they live adjacent to the Shell Petrol Station car wash.

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Next steps

- The panel offers its support to the proposals, subject to the minor comments above, which it is confident the applicant team can address in consultation with Haringey planning officers.

Appendix: Haringey Development Management DPD**Policy DM1: Delivering high quality design****Haringey Development Charter**

- A All new development and changes of use must achieve a high standard of design and contribute to the distinctive character and amenity of the local area. The Council will support design-led development proposals which meet the following criteria:
- a Relate positively to neighbouring structures, new or old, to create a harmonious whole;
 - b Make a positive contribution to a place, improving the character and quality of an area;
 - c Confidently address feedback from local consultation;
 - d Demonstrate how the quality of the development will be secured when it is built; and
 - e Are inclusive and incorporate sustainable design and construction principles.

Design Standards**Character of development**

- B Development proposals should relate positively to their locality, having regard to:
- a Building heights;
 - b Form, scale & massing prevailing around the site;
 - c Urban grain, and the framework of routes and spaces connecting locally and more widely;
 - d Maintaining a sense of enclosure and, where appropriate, following existing building lines;
 - e Rhythm of any neighbouring or local regular plot and building widths;
 - f Active, lively frontages to the public realm; and
 - g Distinctive local architectural styles, detailing and materials.



Appendix 6 – Development Management Forum minutesSummary of Discussion Topics

STAKEHOLDER	TOPICS OF DISCUSSION
Joseph Nicholas	<ul style="list-style-type: none"> • Height and massing; • Impact on nearby heritage assets; • Tree planting and screening of development.
Cllr Gideon Bull	<ul style="list-style-type: none"> • Design quality; • Construction management; • Contribution to the 'up and coming' character of the area; • Impact on neighbouring homes and nursery.
Martin Ball	<ul style="list-style-type: none"> • Impact on nearby heritage assets.
Klaus Kuerner	<ul style="list-style-type: none"> • Construction management; • Impact on Bruce Castle Park footpath access; • Financial contributions to offsite children's play area.
Local residents/other	<ul style="list-style-type: none"> • Affordable homes; • Construction management; • Parking; • Impact on neighbouring residential amenity.

Appendix 7 – Pre-Application Committee minutes

Minutes:

The Committee considered the pre-application briefing for the demolition of existing buildings and erection of a three to five storey building with new retail and workspace at ground floor and 76 dwellings plus new landscaping, car and cycle parking.

Christopher Smith, Planning Officer, highlighted that there had been an error in the report and it was clarified that the scheme was not an entirely rented development and would be available for sale with a proportion of the affordable housing being made available to rent.

The applicant team and officers responded to questions from the Committee:

- It was noted that the Quality Review Panel (QRP) had expressed some concerns about long corridors and rooms with low light levels. The applicant team explained that the internal layout and sequencing was still being developed and was being considered alongside environmental testing for noise, air quality, and ventilation. It was added that the longer corridors had light and ventilation and it was not considered that the corridors were excessively long.
- The Committee noted that the QRP had considered that there were too many single aspect flats and it was enquired whether the applicant would be making any adjustments. The applicant team noted that this element of the scheme had been improved and it was now proposed to have 74% of units with dual aspect. Where a unit was single aspect, it tended to be south facing with good access to light.
- It was noted that there was a busy junction between the railway and Lordship Lane located near the site and it was enquired how traffic and other noise could be mitigated. The applicant team explained that air quality and noise had been tested and there was confidence that they could provide a high level of residential amenity. It was added that there would be different approaches to the balconies on each side of the proposal to mitigate issues.
- The QRP had commented that the top floor of the proposals did not look as well protected from the sun. The applicant team noted that there had been some amendments to the design following QRP comments and that the corner of the proposal would now be set back, wrapped around, and more interesting.
- In response to questions about the layout of the buildings and the site, the applicant team stated that the site was complicated and that, with advice, they had tried to bring forward a coherent scheme. It was noted that some previous attempts to develop the site had been unsuccessful as there had been insufficient land but that additional land had now been secured. It was explained that the proposals would have a route through the site and views to Bruce Castle. The applicant team noted that buildings would be set back in order to minimise the impact on Bruce Castle. There would be playspace, a garden, and areas where residents could have allotments. There would also be greening of the frontage and all roofs would have water storage. The applicant team also noted that it had been highlighted from the outset of the project that it would likely not be possible to meet affordable housing targets on the site due to the heritage setting. It was explained that this was a modest scheme and that, although costs could be reduced to provide additional affordable housing, the applicant did not want to compromise on the quality of the scheme.

- In relation to noise issues, it was noted that there was a small area of private amenity for the family sized units in Block D. It was explained that this space would provide a buffer between the units and the adjoining garage and car wash area. It was envisioned that the garage may be used less over time, as more sustainable modes of transport were developed, and that there could be scope to include the area within the site. It was added that the scheme had been re-orientated so that it faced towards Bruce Castle.
- It was noted that there had been some discussions about removing the gate to the site. It was explained that this would provide some additional amenity and would allow free movement across the site but that some safety concerns, particularly concerns about overnight access, were being considered.
- It was clarified that the applicant had designed the scheme so that the business operations of the petrol station were not impeded but so that it would be possible for the site to be further developed if the opportunity arose. The applicant team also noted that the substation adjacent to the site was considered to have some architectural merit but that it would be beneficial to improve the boundary treatment; the applicant would be willing to contribute to this.
- In relation to schools, the applicant team stated that there had been and would be child yield assessments but there was no indication that the development would have a significant impact on the capacity of local schools. It was added that the applicant would pay Community Infrastructure Levy (CIL) contributions.
- In response to queries about the availability and accessibility of cycle storage, the applicant team explained that they were trying to encourage the use of bicycles. They were considering the practicalities of cycle storage, including the access routes for cycle storage, the availability of two smaller stores rather than one large store, and the availability of single stacking for those who could not reach taller storage options. It was confirmed that the proposal was due to have 140 cycle spaces for the 76 flats.
- The Committee commented that the overhanging balconies could create a dark passageway and it was enquired how this would be made safe by design. The applicant team stated that the passageway was quite short and that, due to the orientation, the area would receive a lot of light during the day and would be well lit at night. It was added that the QRP felt that the scale of the proposal was impressive.
- The Committee asked how Church Lane would reflect the heritage of Bruce Castle Park. The applicant team explained that they had originally wanted to use brick to reflect Bruce Castle but that they felt it was important not to have a pastiche or detract from Bruce Castle itself. Instead, the applicant was seeking to reflect Bruce Castle more subtly through dark brick and red lintels, windows, cornices, and the progressively set back pavilions.

The Chair thanked the applicant team for attending.

Pre-Application Briefing to Committee**1. DETAILS OF THE DEVELOPMENT****Reference No:** PPA/2022/0017**Ward:** Stroud Green**Address:** Osborne Grove Nursing Home/Stroud Green Clinic, 14-16 Upper Tollington Park, London N4 3EL

Proposal: Demolition of the existing building and redevelopment of the Site to provide circa 70 nursing home beds, 10 nursing studios for homelessness end of life and 18 sheltered housing flats (Extra Care Flats). The development will also include a Day Centre for use of the residents and the wider community as part of a facility to promote ageing wellness.

Applicant: LB Haringey**Agent:** Ingleton Wood**Ownership:** LB Haringey**Case Officer Contact:** Tania Skelli**2. BACKGROUND**

- 2.1. The proposed development is being reported to the Planning Sub-Committee to enable members to view it ahead of the submission of a full planning application. Any comments made now are of a provisional nature only and will not prejudice the final outcome of any formally submitted planning application.
- 2.2. It is anticipated that the planning application, once received, would be presented to the Planning Sub-Committee in late 2022. The applicant has engaged in pre-application discussions with Council Planning Officers over recent months.

3. SITE AND SURROUNDINGS



- 3.1. The site is an existing nursing home 1-2 storeys in height on the south-east side of Upper Tollington Road. The site includes a community clinic to the front of the site and outdoor spaces throughout the site.
- 3.2. Finsbury Park and the Parkland Walk are to the far north and east of the site. Stroud Green Road is the closest high street to the south-west of the site which is identified as a designated local shopping centre. The site sits on, but not within, the boundary of the Stroud Green Conservation Area, on three sides (north, east and south). There are no adjoining listed building or other heritage assets.
- 3.3. Directly to the south of the site, lie industrial buildings. A residential terrace and a row of garages abut the northern part of the site. To the east are back gardens of residential buildings. The borough's boundary with the London Borough of Islington lies less than a 100m to the west on Stroud Green Road.

4. PROPOSED DEVELOPMENT

- 4.1. The proposal is for the demolition of the existing care home (1,365sqm) and replacement provision with a new 3-4 storeys care home to provide a nursing home and studio units with assisted care, to comprise the following elements:
 - Nursing Home (Use Class C2) 80 Bed Unit (including 10 'End of life homelessness' accommodation units)

- Studio Units (Use Class C2/ C3) 18 Supported living units of single households under management of Care Home (temporary accommodation)
 - Day centre-for residents and the community
 - Café fronting the street frontage with public access
- 4.2. The proposal is designed to accommodate 7 different, highly sensitive user groups with supporting facilities, landscaping, an ancillary café and daycare space.
- 4.3. The breakdown of the above units is as follows:
- Nursing Beds for people with Learning Disabilities/Autism:10 Beds
 - Complex Care Nursing Needs: 10 Beds
 - Nursing Beds for people with, Dementia and/or Challenging Behaviour: 25 Beds
 - Nursing Beds for people with Physical Frailty: 15 Beds
 - Inpatient Nursing Rehabilitation:10 Beds
 - Nursing Studios for end-of-life complex homelessness: 10 Studios
 - Short Term sheltered housing for step up, step down care: 18 flats



- 4.4. The scheme would include a basement level, to accommodate cycle parking, with new landscaping and tree planting at ground level.
- 4.5. The development would comprise 8,909sqm floorspace with a ground floor footprint of approximately 2,320sqm.

5. PLANNING HISTORY

- 5.1. The site lies on the grounds of the historic Victorian *Osborne Grove* which was redeveloped in the 1990s to provide the current single storey health clinic building. This building has now reached the end of its productive life.



Historic Osborne Grove and three-storey Osborne Tavern P.H on corner with Stroud Green Road

6. CONSULTATIONS

6.1. Public Consultation

- 6.2. A Development Management Forum (DMF) scheduled for the 13th September, was cancelled due to the period of national mourning. Another DMF is currently being organised. The applicant has undertaken their own public engagement exercise and the feedback received will be reported verbally to members.

6.3. Quality Review Panel

- 6.4. Earlier versions of the proposal have been assessed by the Quality Review Panel (QRP) on 19th January 2022 and 18th May 2022. The report from the latest QRP Review is attached as **Appendix 1**.

- 6.5. The summary of the 18th May Review is as follows:

- 6.6. *The Panel supports the overall quality, scale and massing of the development proposal. The panel was impressed by the ambition of the scheme, which will meet a significant need within the borough. The well-considered design of the internal layout and accommodation is strongly supported. The panel welcomes the refinement of the architectural detailing of the building but encourages further enhancement of the contrast within the materiality of the elevations to respond to the rich texture of the houses in the adjoining Conservation Area.*

- 6.7. *The panel supports the landscape proposals, and encourages careful consideration of the location of trees and large plants, in addition to a variety of seating types. Significant concern remains about the relationship of the front of the building to the street, in addition to the proposed loss of the existing maple tree on the frontage. The panel feels that the scheme – and the setting of the Conservation Area – would benefit from following the building line of the adjacent*

terrace to the east, in addition to retaining the existing tree, which is visually very important.

- 6.8. Earlier QRP reviews also supported the development proposal's ambitions, well-considered internal configuration and design. However, encouraged a more generous frontage and refined response to the constraints of the site.
- 6.9. The submission of a full planning application is expected in late 2022.

7. MATERIAL PLANNING CONSIDERATIONS

- 7.1. The Planning team's initial views on the development proposals are outlined below.
- 7.2. *Principle of Land Use*
- 7.3. The key policies to consider in assessing this land use are Policy H12 (Supported and specialised accommodation), Policy H13 (Specialist older persons housing) of the London Plan 2021, Policy SP16 (Community facilities) of the Haringey Strategic Policies 2017 and Policy DM15 (Specialist Housing) of the Council's DM Policies DPD 2017.
- 7.4. The principle of a care home development is supported by Local Plan policies SP1 (Managing Growth), SP10 (Town Centres), SP14 (Health and Well-Being) and SP16 (Community Facilities) of the Development Management DPD.
- 7.5. Policy DM15 (Special Needs Housing) states that the Council will support proposals for new special needs housing where it can be shown that:
 - a) There is an established local need for the form of special needs housing sought having regard also to the aims and recommendations of Haringey's Housing Strategy and Older People Strategy;
 - b) The standard of housing and facilities are suitable for the intended occupiers in terms of:
 - i The provision of appropriate amenity space, parking and servicing;
 - ii The level of independence; and
 - iii Level of supervision, management and care/support;
 - c) There is a good level of accessibility to public transport, shops, services and community facilities appropriate to the needs of the intended occupiers; and
 - d) The impact of the proposed development would not be detrimental to the amenity of the local area or to local services.
- 7.6. All of the accommodation is a form of specialist housing. The design of the accommodation is being led by a design team with a wealth of previous healthcare experience and draws on dementia-friendly design guidance. The design seeks to create the types of spaces needed from a resident, visitor,

members of the public and staff point of view across the various forms of accommodation.

- 7.7. The proposed standard of housing and facilities meet the intended occupiers needs by providing appropriate amenity space within roof terraces, balconies, central courtyard and perimeter seating pockets and are assessed in more detail below. Parking and servicing is provided on site. The level of independence and care/ support for the future occupiers has been carefully considered during the design of the facility and includes a circulation method, floor arrangement, nurses stations and management plan to suit the varying specific needs of each user group in the future care home. Lastly, the impact of the proposed development on the local area and local services is considered under the amenity and transport sections below.
- 7.8. The scheme consists of predominantly C2 (care home) use with an element of C3 (conventional residential use). The level of in reach/assistance to these units will determine whether they would be considered as affordable housing or care facility.
- 7.9. The loss of the existing clinic and provision of a Day centre must be assessed against Policy DM49 (Managing the Provision and Quality of Community Infrastructure). The policy sets out that the Council will seek to protect existing social and community facilities unless a replacement facility is provided which meets the needs of the community.
- 7.10. Where a development proposal may result in the loss of a facility, evidence will be required to show that:
 - a) The facility is no longer required in its current use;
 - b) The loss would not result in a shortfall in provision of that use; and
 - c) The existing facility is not viable in its current use and there is no demand for any other suitable community use on the site.
- 7.11. The existing specialist clinic, currently occupying the single-storey building at the front of the site, will be replaced by the proposed building. The provision of a day centre provides a replacement community facility albeit addressing a different local need. The applicant advises that discussions are ongoing with the local NHS branch to provide replacement service in the locality. However, should an alternative service not be found, the applicant confirms that there is sufficient capacity across the other five adjoining boroughs (Enfield, Barnet, Haringey, Islington & Camden) to cover the needs of local residents. The application submission will need to demonstrate its compliance with Policy DM49.
- 7.12. Accordingly, the principle of the replacement use is considered acceptable, subject to details.
- 7.13. *Character, Appearance and Heritage Impact*

- 7.14. Development in conservation areas should preserve the character or appearance of the conservation area and the forthcoming planning application will be assessed according to the NPPF and Haringey Development Plan policies SP11, SP12, DM1 and DM9 would apply.
- 7.15. The northern, eastern and southern parts of the application site are located within the Stroud Green Conservation Area. There are no locally listed or listed buildings on or immediately adjacent to the application site though the Grade II Statutorily Listed Stroud Green Primary School lies to the rear of the site, on Perth Road.
- 7.16. The site is surrounded by a conservation area of consistently low-rise, two to three storey traditional buildings that as a group are positive contributors to the character of the conservation area along three sides; the Victoria Terrace to the east, along Perth Road to the south and along Stroud Green Road to the west. Both the conservation area and its immediate settings along Upper Tollington Park and Stroud Green Road are characterised by three to four storey brick buildings. The Stroud Green Conservation Area features long, well composed terraces with hipped-pitched ends, often forming prominent “bookends”.
- 7.17. The building would be of an appropriate scale and massing with high-quality contemporary design, finished with a robust palette of yellow London stock brick, stone and metal that would provide a distinctive new appearance in this area.
- 7.18. The existing gas governor at the edge of the site (single-storey small building), to its northern frontage, is retained and lies outside of the site boundaries. The proposal has been revised during the course of the pre-application process and reduced by one floor to improve the massing of the development.
- 7.19. Elevational amendments were carried out in order to ensure a lively active frontage and prominent public entrance whilst prioritising the functionality of the day centre and community café area to the front ground floor of the building. The large glazing at this level doubles as a passive surveillance tool as well as enhancing the streetscape.



Proposed visualisation of frontage, looking towards Stroud Green Road

- 7.20. Ceilings heights are somewhat taller than typical domestic floor to ceiling heights, in order to accommodate more servicing, a deeper structure and more fire protection and sound insulation than a domestic building.
- 7.21. Whilst the additional mass and degree of change on this site is significant in size and style, the design of the new building is considered to preserve and enhance the Conservation Area.
- 7.22. *Internal accommodation*
- 7.23. The internal layout will be assessed against the relevant internal space standards. Part M4(3) is relevant for wheelchair adaptable dwellings. The level of detail demonstrated to date for the internal layout, circulation and servicing indicates an efficient modern medical facility that is well considered for its end users and practitioners.
- 7.24. As required by Policy DM15 the design is centred on good functionality including clear and distinctive entrances, circulation space, cycle, disabled and servicing parking. Refuse storage and vehicular access will be from the west side existing entry point.
- 7.25. A generous internal courtyard is proposed for the amenity of future occupiers. This has been designed to receive good amounts of sunshine from the south-east by lowering the height of the building on the Perth Road end. The landscaping responds to the expected light levels and designed shared area appropriately.

7.26. All units aim to avoid overheating, include shading but with a good amount of glazing and cross ventilation and address minimise overlooking where necessary.

7.27. *Landscaping and Public Realm*

7.28. The proposal includes extensive tree replacement, seating pockets, sensory gardens and terraces, courtyard and perimeter landscaping as well as green roofs and street trees. The proposal would result in the removal of the existing Maple Tree and its replacement with 6 new street trees. Options to retain this tree have been considered but found to severely impact on the quantum of development provided and practically of the layout.

7.29. *Amenity of Nearby Residents*

7.30. The London Plan Policy D4 (Delivering good design) states that development must not cause unacceptable harm to the amenity of surrounding land and buildings. Haringey's Development Management DPD 2017 Policies DM1 and DM12 require that development proposals must ensure a high standard of privacy and amenity for the development's users and neighbours.

7.31. The proposal has neighbouring buildings in close proximity on all sides. To the south and east lie historic Victorian terraces. To the east lies Victoria Terrace at some 18m away, separated from the site with single-storey garages. To the south are the rear windows of the Perth Road terrace at 13m away. Another close property is at 22 Upper Tollington Park, to the front. The east of the site is bounded by businesses and garages, which raises no concerns.



Distance between development and Victoria Terrace

7.32. The majority of activity by future occupiers will be orientated towards the inner courtyard with external views afforded from bedrooms and communal rooms, similar to other residential uses.

- 7.33. In response, the proposal has been designed sensitively to protect the privacy of its neighbours, with angled windows, generous boundary walls and the re-provision of the vehicular and service access as existing, adjoining to the garages and business side of the site.



Views from the SE/ Rear Perth Road towards rear of building

7.34. Sustainability

- 7.35. In accordance with the London Plan Policy SI2 all major development should be 'zero carbon' by minimising operational emissions and energy demand in accordance with the Mayor of London's energy hierarchy.
- 7.36. The applicant has undertaken an energy strategy options appraisal and determined that the development's energy needs, and a carbon reduction of greater than 67%, can be secured through the provision of air source heat pumps (ASHPs) and ground source heat pumps (GSHPs) for space heating, mechanical heating and natural ventilation alongside efficient services layout and strategies. An off-site, prefabricated construction method is proposed using pre-cast concrete walls and floors. Concrete has been chosen to maximise the buildings' thermal mass and maintain a consistent temperature, relying less on mechanical heating and cooling.
- 7.37. The proposal includes for bio-solar green roofs across all available roof areas. Solar Thermal panels will be utilized to provide onsite renewable energy generation. A summer and winter ventilation strategy is included, as well as a strategy for mitigating overheating (including *brise soleil* to the relevant

elevations). A biodiversity net-gain assessment is expected as part of the application submission, demonstrating how the replacement trees mitigate the removal of those on site, amongst other mitigation measures on site.

7.38. *Transportation and Parking*

7.39. The site currently has excellent public transport connections (PTAL of 6A) including 4 different bus services within 5 to 7 minutes walk of the site, and Finsbury Park Station a 10 minute walk away with connections to national rail and underground services. Policy DM32 of the Development Management DPD supports development with limited car parking in areas where the future public transport connectivity is of PTAL 4 or greater.

7.40. The site is also within the Finsbury Park 'C' CPZ, which has operating hours of 0830 to 1830, Monday to Saturday, along with additional restrictions in place when there are matches or events at Arsenal's Emirates Stadium.

7.41. The proposal includes 6 parking spaces (replacing 24 existing). Whilst a reduction in car parking is welcome, the additional floorspace to this nursing home will result in an uplift in transportation demand. A transportation assessment provided with the future application will need to demonstrate how this demand will be met by the development and not result in wider parking and transport network issues.

7.42. Discussions are taking place around cycle parking which will be at basement level and in accordance with the London Plan standards, delivery and servicing arrangements, refuse and recycling collections and the construction of the development. A Travel Plan will need to be provided.

7.43. *Community Infrastructure Levy (CIL)/Section 106*

7.44. For the purposes of CIL it is expected that the building would be treated as a care home including significant health provision which would be subject to a Nil rate for the Mayor and Haringey CIL.

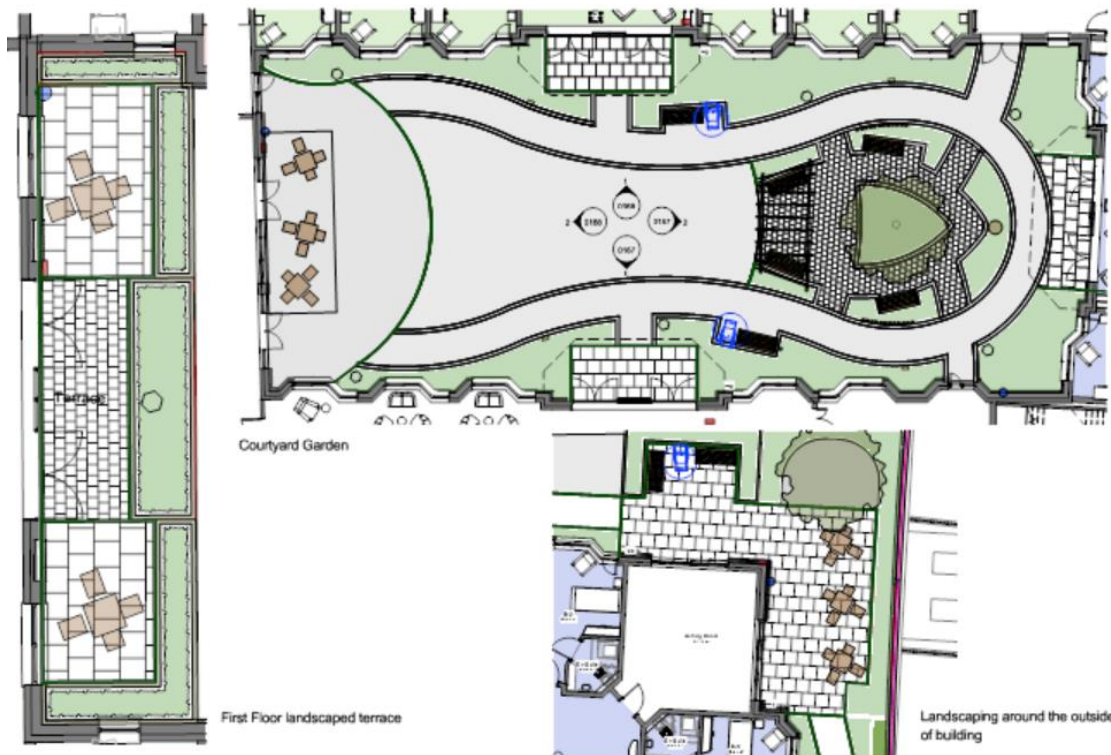
7.45. The Council is in the early stages of discussions with the applicant on the Section 106 planning obligations required from this development. This is likely to secure the proposed public realm improvements and sustainable transport measures, as well as other obligations required by the Council's Planning Obligations SPD and any other mitigation requirements of this development.

PLANS AND IMAGES

Existing Site Plan



Proposed Landscaping Plan



3D view onto site and green roof



Internal courtyard



Proposed ground floor plan



Front elevation



Entrance/ café/ Day centre arrangement



Front view towards Stroud Green Road



Sections



① Proposed North-East Internal Elevation



View from LB Islington



APPENDIX 1

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Haringey Quality Review Panel

Report of Chair's Review Meeting: Osborne Grove

Wednesday 18 May 2022

Osborn Grove Nursing Home, 16 Upper Tollington Park, Finsbury Park,
London N4 3EL

Panel

Peter Studdert (chair)
Marie Burns

Attendees

Richard Truscott	London Borough of Haringey
Tania Skelli	London Borough of Haringey
James Mead	London Borough of Haringey
Suzanne Kimman	London Borough of Haringey
Mark Chan	London Borough of Haringey
Sarah Carmona	Frame Projects
Joe Brennan	Frame Projects

Apologies / report copied to

Rob Krzyszowski	London Borough of Haringey
Robbie McNaugher	London Borough of Haringey
John McRory	London Borough of Haringey
Elisabetta Tonazzi	London Borough of Haringey
Aikaterini Koukouthaki	London Borough of Haringey

Confidentiality

This is a pre-application review, and therefore confidential. As a public organisation Haringey Council is subject to the Freedom of Information Act (FOI), and in the case of an FOI request may be obliged to release project information submitted for review.

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1. Project name and site address

Osborne Grove Care Home, 16 Upper Tollington Park, Stroud Green, London N4 3EL

2. Presenting team

Emily Snelling	London Borough of Haringey
David Lee	London Borough of Haringey
Trevor Halls	Ingleton Wood LLP
Jack Guerrier	Ingleton Wood LLP

3. Aims of the Quality Review Panel meeting

The Quality Review Panel provides impartial and objective advice from a diverse range of experienced practitioners. This report draws together the panel's advice, and is not intended to be a minute of the proceedings. It is intended that the panel's advice may assist the development management team in negotiating design improvements where appropriate and in addition may support decision-making by the Planning Committee, in order to secure the highest possible quality of development.

4. Planning authority briefing

The site is on the south-east side of Upper Tollington Road and comprises an existing nursing home of one to two storeys, in addition to a clinic and some open space. Finsbury Park and the Parkland Walk are to the north-east of the site. Stroud Green Road is the closest high street and is a designated local shopping centre. The area is characterised as mainly residential uses; however industrial buildings are located directly to the south of the site. A residential terrace and a row of garages abut the northern part of the site, with residential rear gardens to the east. The site is surrounded by conservation areas of a consistently two to three storey traditional townscape, with good quality buildings with group value. Within the area there are also four storey buildings along Stroud Green Road, including Carter Court diagonally opposite. There are positive contributors to the character of the Conservation Area along three sides: along Victoria terrace to the east, along Perth Road to the south and along Stroud Green Road to the west.

The proposal is for the full demolition of the 32-bedroom care home and health clinic, which are to be replaced with a new, purpose built, 98-bedroom care home including 18 sheltered accommodation units. The proposal is designed to accommodate seven different, highly sensitive user groups with supporting facilities, landscaping, café and day space. An existing gas governor on site is to be retained due to logistical restrictions.

Officers seek the views of the panel on the scale and massing of the proposed development, the detailed design of the frontages and outdoor space, its potential relationship and connections with adjoining buildings, streets and potential developments, as well as its layout, including internal arrangement, amenity and access.

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5. Quality Review Panel's views*Summary*

The panel is impressed by the ambition of the scheme, which has the potential to meet significant need within the Borough. It thinks that the internal accommodation is clearly well-considered and responsive to the needs of the prospective residents.

The scale and massing of the proposals is broadly acceptable, although there are some detailed concerns outlined below. The panel welcomes the work that has been undertaken in developing the detail of the architectural expression of the building but feels that some scope remains to enhance the contrast within the materiality of the elevations to respond to the rich texture of the houses in the adjoining Conservation Area. The panel supports the landscape proposals, and would encourage careful consideration of the location of trees and large plants, in addition to a variety of seating types.

Significant concern remains about the relationship of the front of the building to the street, in addition to the proposed loss of the existing maple tree on the frontage. The panel feels that the scheme – and the setting of the Conservation Area – would benefit from following the building line of the adjacent terrace to the east, in addition to retaining the existing tree, which is visually very important. The panel notes that the proposal removes a large number of existing mature and semi-mature trees from the site, and is sceptical about whether biodiversity net gain can be achieved.

Further consideration of the interface between the scheme and the adjacent terrace of houses at the rear (south eastern) boundary may be necessary following consultation with adjoining residents, although the panel considers that this is possibly a less critical issue than the frontage and may be capable of mitigation by careful design.

Further details on the panel's views are included below.

Scheme layout, access and integration

- The panel commends the design team for seeking to put the needs of residents and staff at the centre of the design process, and thinks that the internal accommodation is well-considered and thoughtful.
- However, concern remains regarding the frontage of the development and its relationship to the street. In particular, the panel feels that the existing maple tree, which makes an important contribution to the setting of the adjacent Conservation Area, should be retained.
- The panel feels that the proposed building should sit more comfortably within the surrounding residential Conservation Area rather than bringing the frontage close to the back of pavement line. Consequently, the building line of

the residential terrace along Upper Tollington Park to the east should be followed, rather than that of the commercial premises at the junction with Stroud Green Road. This would give greater generosity to the landscaped frontage and allow more space for street trees and the retention of the maple tree.

- The south eastern elevation at the rear of the site is also important, as it will sit close to the rear gardens of the neighbouring properties located along Perth Road. This will inevitably give rise to concerns about overlooking and loss of privacy, as well as having a potentially overbearing physical relationship with the gardens. While the inclusion of balconies within the scheme would be a benefit to the building's residents, it could potentially add to these problems, which will need to be resolved through consultation with the neighbouring residents.
- On balance, the panel feels that the situation to the rear of the site might be made acceptable by careful design, but it feels that pulling back the building line at the front of the development, to retain the existing maple tree and create a 'buffer' with the public realm, is of primary importance.
- While the panel acknowledges that the proposed building is situated close to the site boundaries at the north east and south west (the two long flanks of the scheme), it feels that there are no major issues or concerns along these edges of the site.
- It questions whether the ground floor bedrooms at the north eastern edge of the site will have adequate daylight and sunlight; it notes that these will have to be treated as habitable rooms, so it will be important to ensure that these meet the required standards for light.

Architectural expression

- The panel welcomes the work undertaken in developing the detail of the buildings. It feels that the architectural expression is generally successful and that the scale of the frontage is working well.
- It notes that within the adjacent Conservation Area, building elevations typically have a high level of contrast and richness in the palette of materials. The panel would encourage the design team to introduce some further contrast within the brick facades, to bring the elevations to life.

Landscape design

- The panel notes that the proposal seeks to remove all the mature and semi-mature trees from the site. Even if the single maple tree is retained on the road frontage the panel is sceptical that the development will be able to show a net gain in biodiversity. However, it welcomes the intention to add new street

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trees, but notes that the design team will need to ensure that there is adequate distance between the tree pit and the building line, to ensure that good access for wheelchairs and walking frames is achieved within the pavement.

- The internal courtyard is well-considered and is likely to result in a more intimately-scaled space. The panel welcomes the drop in the roofline that will increase the penetration of sunlight into the space, and considers that the residents of the building may find shaded parts of the space more comfortable to spend time in.
- The position of trees and other elements within the internal courtyard will need to be carefully considered to enable sightlines from key parts of the building's interior into the courtyard, to ensure a good view of performances held externally.
- Different types of seating would be supported, to provide space for those with walking frames, and for those who want to talk to friends in wheelchairs.
- A detailed and well-considered lighting scheme within the internal courtyard should be developed.

Environmentally sustainable design

- The panel welcomes the level of detail concerning environmentally sustainable design that has been presented at review. As it was unable to comment in detail on this aspect of the proposals, it would encourage the design team to engage with the Council's Climate Change Officer for further examination and discussion.
- The panel understands that issues of solar gain will be mitigated through specification of solar control glass.

Next steps

- The panel highlights a number of action points for consideration by the design team, in consultation with Haringey officers.

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Report for:	Planning Sub Committee Date: 10 October 2022	Item Number:	
Title:	Update on major proposals		
Report Authorised by:	Robbie McNaugher		
Lead Officer:	John McRory		
Ward(s) affected: All		Report for Key/Non Key Decisions:	

1. Describe the issue under consideration

- 1.1 To advise the Planning Sub Committee of major proposals that are currently in the pipeline. These are divided into those that have recently been approved; those awaiting the issue of the decision notice following a committee resolution; applications that have been submitted and are awaiting determination; and proposals which are the being discussed at the pre-application stage. A list of current appeals is also included.

2. Recommendations

- 2.1 That the report be noted.

3. Background information

- 3.1 As part of the discussions with members in the development of the Planning Protocol 2014 it became clear that members wanted be better informed about proposals for major development. Member engagement in the planning process is encouraged and supported by the National Planning Policy Framework 2019 (NPPF). Haringey is proposing through the new protocol to achieve early member engagement at the pre-application stage through formal briefings on major schemes. The aim of the schedule attached to this report is to provide information



on major proposals so that members are better informed and can seek further information regarding the proposed development as necessary.

4. Local Government (Access to Information) Act 1985

- 4.1 Application details are available to view, print and download free of charge via the Haringey Council website: www.haringey.gov.uk. From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility. Enter the application reference number or site address to retrieve the case details.
- 4.2 The Development Management Support Team can give further advice and can be contacted on 020 8489 5504, 9.00am-5.00pm Monday to Friday.

Site	Description	Timescales/comments	Case Officer	Manager
APPLICATIONS DETERMINED AWAITING 106 TO BE SIGNED				
Cranwood House, 100 Woodside Ave, N10 HGY/2021/2727	Demolition of existing care home to provide 41 new homes for council rent and market sale in a mixture of apartments, maisonettes, and houses in buildings of three, four, and six storeys.	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement. Decision to be issued shortly.	Chris Smith	John McRory
Mary Fielding Guild Care Home, 103-107 North Hill, N6 HGY/2021/3481	Demolition of the existing Mary Feilding Guild Care Home (Use Classes Order C2) and the redevelopment of the site to provide a new 72 bed care home with ancillary communal facilities, services and amenities.	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement. Decision to be issued shortly.	Valerie Okeiyi	John McRory
109 Fortis Green, N2 HGY/2021/2151	Full planning application for the demolition of all existing structures and redevelopment of the site to provide 10 residential units (use class C3) comprising of 6 x residential flats and 4 mews houses and 131m2 flexible commercial space in ground/lower ground floor unit, basement car parking and other associated works.	Members resolved to grant planning permission subject to the signing of legal agreement. Negotiations on legal agreement are ongoing.	Valerie Okeiyi	John McRory
573-575 Lordship Lane, N22 HGY/2022/0011	Demolition of existing buildings and redevelopment of site to provide 17 affordable residential units (Use Class C3) with landscaping and other associated works.	Members resolved to grant planning permission subject to the signing of legal agreement.	Chris Smith	John McRory

		Negotiations on legal agreement are ongoing.		
Adj to Florentia Clothing Village Site, 108 Vale Road, N4 HGY/2022/0044	Light industrial floorspace	Members resolved to grant planning permission subject to the signing of legal agreement. Negotiations on legal agreement are ongoing.	James Mead	Matthew Gunning
15-19 Garman Road, N17 HGY/2022/0081	Demolition of the existing industrial buildings and redevelopment to provide a new building for manufacturing, warehouse or distribution with ancillary offices on ground, first and second floor frontage together with 10No. self-contained design studio offices on the third floor. (Full Planning Application).	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement. Negotiations on legal agreement are ongoing.	Kwaku Bossman-Gyamera	Kevin Tohill
29-33 The Hale, N17 HGY/2021/2304	Redevelopment of site including demolition of existing buildings to provide a part 7, part 24 storey building of purpose-built student accommodation [PBSA] (Sui Generis); with part commercial uses [retail] (Use Class E(a)) at ground and first floor; and associated access, landscaping works, cycle parking, and wind mitigation measures.	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement. Negotiations on legal agreement are ongoing.	Phil Elliott	John McRory
Barbara Hucklesby Close, N22 HGY/2022/0859	Demolition of existing eight bungalows and the construction of a part one, two and three-storey building to provide supported living accommodation (Use Class C2) comprising 14 one-bedroom homes, a support office and communal garden. Provision of two wheelchair	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement.	Gareth Prosser	Kevin Tohill

	accessible parking bays, refuse/recycling and cycle stores and landscaping.	Negotiations on legal agreement are ongoing.		
APPLICATIONS SUBMITTED TO BE DECIDED				
Broadwater Farm, Tottenham, N17 HGY/2022/0823	Demolition of the existing buildings and structures and erection of new mixed-use buildings including residential (Use Class C3), commercial, business and service (Class E) and local community and learning (Class F) floorspace; energy centre (sui generis); together with landscaped public realm and amenity spaces; public realm and highways works; car-parking; cycle parking; refuse and recycling facilities; and other associated works. Site comprising: Tangmere and Northolt Blocks (including Stapleford North Wing): Energy Centre; Medical Centre: Enterprise Centre: and former Moselle school site, at Broadwater Farm Estate.	Application to be reported to members on 10 th October 2022.	Chris Smith	John McRory
313-315 Roundway and 8-12 Church Lane, N17 HGY/2022/0967	Demolition of existing buildings and erection of a three to five storey building with new Class E floorspace at ground floor and residential C3 units with landscaping and associated works.	Application to be reported to members on 10 th October 2022.	Chris Smith	Kevin Tohill
44 Hampstead Lane, N6 HGY/2021/2703	Use Class C2 high quality specialist dementia care with 82 en-suite bedrooms and communal facilities. EoT agreed for 16/03/2022.	Application submitted and under assessment. A fresh application has also been submitted, but is currently invalid. Presumed that it will replace this application.	Samuel Uff	John McRory

Cross House, 7 Cross Lane, N8 HGY/2021/1909	Demolition of existing building; redevelopment to provide business (Class E(g)(iii)) use at the ground, first and second floors, residential (Class C3) use on the upper floors, within a building of six storeys plus basement, provision of 7 car parking spaces and refuse storage.	Application submitted and under assessment.	Valerie Okeiyi	John McRory
550 White Hart Lane, N17 HGY/2022/0709	Application for Variation / removal of condition 8 (Deliveries in respect of unit deliveries in respect of units 3, 4 and 5a as well as 1, 5b and 6) condition 22 (No loading/unloading outside units 3,4,& 5) and condition 23 (No loading/unloading of deliveries) attached to planning permission reference HGY/2014/0055	Application submitted and under assessment.	Valerie Okeiyi	John McRory
550 White Hart Lane, N17 HGY/2022/0708	Application for Variation / removal of condition 1 (in accordance with the plans) condition 4 (Restriction of Use Class) and condition 6 (Deliveries) attached to planning permission reference HGY/2020/0100	Application submitted and under assessment.	Valerie Okeiyi	John McRory
The Goods Yard and The Depot 36 & 44-52 White Hart Lane (and land to the rear), and 867-879 High Road, N17 HGY/2022/0563	Full planning application for (i) the demolition of existing buildings and structures, site clearance and the redevelopment of the site for a residential-led, mixed-use development comprising residential units (C3); flexible commercial, business, community, retail and service uses (Class E); hard and soft landscaping; associated parking; and associated works. (ii) Change of use of No. 52	Application under assessment. Revised version of scheme refused in November 2021 – which is currently at appeal (Inquiry opened on 12 th July)	Philip Elliott	John McRory

	White Hart Lane from residential (C3) to a flexible retail (Class E) (iii) Change of use of No. 867-869 High Road to residential (C3) use.			
St Ann's Hospital, St Ann's Road, N15 HGY/2022/1833	Circa 995 residential dwellings, commercial and community uses, retention of existing historic buildings, new public realm and green space, new routes into and through the site, and car and cycle parking.	Application submitted and under assessment.	Chris Smith	John McRory
Hornsey Police Station, 94-98 Tottenham Lane, N8 HGY/2022/2116	Retention of existing Police Station building (Block A) with internal refurbishment, rear extensions and loft conversions to create 6 terrace houses and 4 flats. Erection of two buildings comprising of Block C along Glebe Road and Harold Road to create 8 flats and erection of Block B along Tottenham Lane and towards the rear of Tottenham Lane to create 7 flats and 4 mews houses including landscaping and other associated works	Application submitted and under assessment.	Valerie Okeiyi	John McRory
Woodridings Court, Crescent Road, N22 HGY/2022/2354	Redevelopment of the derelict undercroft car park behind Woodridings Court and provision of 33 new Council rent homes in four and five storey buildings. Provision of associated amenity space, cycle and refuse/recycling stores and wheelchair parking spaces, and enhancement of existing amenity space at the front of Woodridings Court, including new landscaping, refuse/recycling stores and play space.	Application submitted and under assessment.	Valerie Okeiyi	John McRory

Duke Of Edinburgh, 83 Mays Road, N22 HGY/2022/0723	Erection of a rear, side and roof extension to existing public house to create 21no. guest rooms (use class: C1) across first, second and third floors. Erection of a 5 storey building to the rear to provide 9no. residential flats (use class: C3), together with a glazed link. Construction of a basement extension to serve retained public house.	Application submitted and under assessment.	James Mead	Matthew Gunning
Land Rear of 2-14 Kerswell Close, N15 HGY/2022/2250	Redevelopment of the car park, commercial unit and open space at the junction of Kerswell Close and St. Ann's Road and provision of 25 new Council rent homes and an Adult Care Hub in two, four and five-storey buildings. Provision of associated amenity space, including new landscaping, refuse/recycling stores and play space, cycle and refuse/recycling stores and wheelchair parking spaces, and enhancement of existing amenity space within the Kerswell Close Estate.	Application submitted and under assessment.	Chris Smith	John McRory
Drapers Almshouses, Edmansons Close, Bruce Grove, N1	Redevelopment consisting of the amalgamation, extension and adaptation of the existing almshouses to provide family dwellings; and creation of additional units on site to consist of a mix of 1, 2 and 3 bedroom units.	Application submitted and under assessment.	TBC	John McRory
IN PRE-APPLICATION DISCUSSIONS				
Civic Centre, Wood Green, High Road, N22	Refurbishment and extension to Haringey Civic Centre, to provide approximately 11,500sqm of commercial/ civic floorspace.	PPA in place with ongoing meetings	Samuel Uff	John McRory

679 Green Lanes, N8	Redevelopment of the site to comprise a 9 storey mixed use building with replacement commercial uses at ground floor level (Class E and Sui Generis) and 43 residential (C3) units on the upper floors.	Pre-application discussions to take place.	TBC	John McRory
Berol Quarter Berol Yard, Ashley Road, N17	<p><u>Berol House</u></p> <p>Refurbishment of Berol House for a mix of flexible commercial and retail floorspace with additional floors on the roof. Comprising refurbishment of c. 3,800sqm of existing commercial floorspace and addition of c. 2,000sqm new additional accommodation at roof level. Targeting net zero.</p> <p><u>2 Berol Yard</u></p> <p>2 Berol Yard will comprise circa 200 new Build to Rent (BTR) homes with a mix of flexible retail and commercial space at ground floor level. The BTR accommodation will include 35% Discount Market Rent affordable housing. Tallest element 33 storeys.</p> <p>And associated public realm and landscaping within the quarter.</p>	PPA in place with ongoing meetings – Applicant is looking to submit later in the autumn	Phil Elliott	John McRory
Sir Frederick Messer Estate, South Tottenham, N15 Council Housing led project	Two new blocks of up to 16 storeys including 99 units and new landscaping. Mix of social rent and market.	Initial pre-app meetings held. QRP held. Discussions ongoing.	Chris Smith	John McRory

Wat Tyler House, Boyton Road, N8 Council Housing led project	Council development of car park for block of 14 residential units and associated landscaping, play space, cycling and refuse stores.	Pre-application discussions ongoing discussions	TBC	John McRory
Reynardson Court, High Road, N17 Council Housing led project	Refurbishment and /or redevelopment of site for residential led scheme – 10 units.	Pre-application discussions taking place	TBC	John McRory
Arundel Court and Baldewyne Court, Lansdowne Road, N17 Council Housing led project	Redevelopment of land to the front of Arundel Court and Baldewyne Court, along Lansdowne Road including an existing car parking and pram shed area and the erection of 3, 3 storey buildings, (3 at Arundel Court and 2 at Baldewyne Court) to provide 30 new residential units with associated improvements to the surrounding area.	Pre-application discussions taking place	Kwaku Bossman-Gyamera	Kevin Tohill
Brunel Walk, Turner Avenue, N15 Council Housing led project	Council development - Preliminary meeting to discuss matters of principle in relation to the siting, scale, massing of the proposed new development on Brunel Walk (c. 45 units) and the associated and comprehensive improvement/reconfiguration of the public realm/landscaping treatment on the Turner Avenue Estate.	Pre-application discussions ongoing.	Valerie Okeiyi	Kevin Tohill
Gourley Triangle, Seven Sisters Road, N15	Masterplan for site allocation SS4 for up to 350 units and approx. 12,000sqm of commercial space.	Pre-app meetings held. QRP review held. GLA meeting held. Discussions ongoing.	Chris Smith	John McRory

Highgate School, North Road, N6	1.Dyne House & Island Site 2. Richards Music Centre (RMC) 3. Mallinson Sport Centre (MSC) 4. Science Block 5. Decant Facility	Pre-application discussions ongoing.	Tania Skelli	John McRory
Jessica Buttons Factory Site, land at 9-36 Clarendon Road, N8	Redevelopment of the site to provide a part two, part six, part eight and part eleven storey scheme with basement comprising 51 residential units and approximately 550 sqm of commercial floorspace	Pre-application discussions ongoing.	Valerie Okeiyi	John McRory
Selby Centre, Selby Road, N17	Replacement community centre, housing including council housing with improved sports facilities and connectivity.	Talks ongoing with Officers and Enfield Council.	Phil Elliott	John McRory
Ashley House and Cannon Factory, Ashley Road, N17	S73 to amend tenure mix of buildings to enable market housing to cross subsidise affordable due to funding challenges.	Negotiating PPA – Submission likely in the Autumn	Phil Elliott	John McRory
Warehouse living proposals: Corner of Eade Road and Seven Sisters Road, N16	Warehouse living and commercial uses on corner of Seven Sisters and Eade Roads	Negotiating PPA	Phil Elliott	John McRory
Warehouse living proposals: Overbury Road and Eade Road, Arena Design Centre,	Warehouse Living and other proposals across 2 sites.	Draft framework presented for Overbury/Eade Road Sites. Discussions continuing.	Chris Smith	John McRory

Haringey Warehouse District, N16				
Warehouse living proposal – Omega Works, Hermitage Road, Warehouse District, N4	Demolition with façade retention and erection of buildings of 4 to 9 storeys with part basement to provide a mix of commercial spaces, warehouse living and C3 residential.	Pre-application discussions ongoing.	Chris Smith	John McRory
142-147 Station Road, N22	Demolition of existing buildings on the site and erection of buildings containing 28 one-bedroom modular homes, office, and the re-provision of existing café. Associated hard and soft landscaping works.	Pre-application discussions ongoing	TBC	John McRory
Osborne Grove Nursing Home/ Stroud Green Clinic 14-16 Upper Tollington Park N4	Demolition of a 32 bed respite home and clinic building. Erection of a new 70 bed care home and 10 studio rooms for semi-independent living, managed by the care home. Separate independent residential component comprising a mix of twenty self-contained 1 and 2 bedroom flats for older adults, planned on Happi principles. Day Centre for use of residents and the wider community as part of a facility to promote ageing wellness.	Pre-app advice issued Discussions ongoing	Tania Skelli	John McRory
The Braemar Avenue Baptist Church, Braemar Avenue, N22	Demolition of dilapidated church hall, to allow construction of part 3, part 4 storey building (over basement) comprising new church hall extensions (204m2) and 15 flats. Internal and minor external alterations to adjacent listed church, together with landscaping improvements.	Pre-application discussions ongoing.	Valerie Okeiyi	John McRory

Pure Gym, Hillfield Park, N10	Demolition of existing building and redevelopment with gym and residential units on upper floors	Pre-app advice note to be issued.	Valerie Okeiyi	John McRory
(Part Site Allocation SA49) Lynton Road, N8	Demolition/Part Demolition of existing commercial buildings and mixed use redevelopment to provide 75 apartments and retained office space.	Pre-app discussions ongoing.	TBC	John McRory
1 Farrer Mews, N8	Proposed development to Farrer Mews to replace existing residential, garages & Car workshop into (9 houses & 6 flats).	Second pre-application meeting arranged following revised scheme	Tania Skelli	John McRory
Far Field Sports Ground, Courtenay Avenue, N6	Various re-surfacing works to field and associated infrastructure.	Pre-app advice issued.	Chris Smith	John McRory
356-358 St. Ann's Road & 40 Brampton Road, N15	Demolition of two buildings on corner of St. Ann's Rd and of coach house and end of terrace home on Brampton Rd and replacement with increased commercial and 9 self-contained homes.	Pre-application meeting held 30/07. No discussions since	Phil Elliott	John McRory
157-159 Hornsey Park Road, N8	The scheme is for the erection of 2 buildings ranging from 3 to 6 storeys in height and a detached 2-storey house, to provide for 33 residential units and 154m2 commercial floorspace, together with associated landscaping with delivery of a new public	Pre-app advice to be issued.	Valerie Okeiyi	John McRory

	pedestrian route, car and cycle parking, and refuse and recycling facilities.			
35-37 Queens Avenue, N10	Reconfiguration of the existing internal layout and rear extension to create 16 self-contained flats and redevelopment of existing garages in rear garden to provide 4 additional flats.	Pre-app advice issued.	Valerie Okeiyi	John McRory
Former Clarendon Gasworks, Mary Neuner Road, N8	Reserved Matters Phase 4 (H blocks).	Reserved matter discussions taking place	Valerie Okeiyi	John McRory
Parma House Clarendon Road (Off Coburg Road), N22	14 units to the rear of block B that was granted under the Chocolate Factory development (HGY/2017/3020).	Pre-app advice issued.	Valerie Okeiyi	John McRory
Ashley House, 235-239 High Rd, N22	Demolition and rebuild as 20 storey tower for 90 units, with office space.	Pre-app meetings held and advice note issued.	Samuel Uff	John McRory
36-38 Turnpike Lane, N8	Erection of 9 residential flats and commercial space at ground floor. (Major as over 1000 square metres). (The Demolition of the existing structure and the erection of four-storey building with part commercial/residential on the ground floor and self-contained flats on the upper floors.)	Pre-application report issued.	Tania Skelli	John McRory
Wood Green Corner Masterplan	Masterplan for Wood Green Corner, as defined in draft Wood Green AAP as WG SA2 (Green Ridings House), SA3 (Wood Green Bus Garage) and SA4 (Station Road Offices).	Pre-app advice issued. Discussions to continue.	Samuel Uff	John McRory

Mecca Bingo, 707-725 Lordship Lane, N22	250-300 residential units, replacement bingo hall and other commercial uses.	Pre-app advice note issued.	Chris Smith	John McRory
13 Bedford Road, N22	Demolition of existing building and the erection of a part five part six storey building to provide 257 sq. m retail space on the ground floor with 18 flats with associated amenity space in the upper floors together with cycle and refuse storage at ground floor level.	Pre-app advice note to be issued.	Valerie Okeiyi	John McRory
25-27 Clarendon Road, N22	Residential-led redevelopment of site, including demolition of existing buildings.	Pre-app advice note issued.	Valerie Okeiyi	John McRory
Land to the rear of 7-8 Bruce Grove, N17	Redevelopment of the site to provide new residential accommodation	Pre-app advice note to be issued.	Valerie Okeiyi	John McRory
Former Petrol Filling Station, 76 Mayes Road, N22	Amended changes to the consented scheme including additional units across the development	Pre-app advice note to be issued.	Valerie Okeiyi	John McRory
139 - 131 Crouch Hill, N8	Redevelopment to provide 9 residential units (class C3) and 319sqm of retail floorspace across two shops (class A1) in a four storey building over basement. (Follow up from PRE/2019/0160)	Pre-app advice note issued 23 March 2020. The applicant has requested further advice and a follow up pre-application meeting will take place shortly.	Samuel Uff	John McRory
Major Application Appeals				

Goods Yard / Depot White Hart Lane	<p>Proposal to amend previous proposals for Goods Yard and 867- 879 High Road</p> <p>Part of High Road West Masterplan Area.</p>	<p>Application refused, appeal submitted. Inquiry opens 12th July.</p> <p>Inspector seeking further EIA information following permission of HRW Lendlease proposals</p>		<p>Robbie McNaugher & John McRory</p>
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HARINGEY COUNCIL

PLANNING COMMITTEE

APPLICATIONS DECIDED UNDER DELEGATED POWERS BETWEEN 19/06/2022 AND 23/09/2022

BACKGROUND PAPERS

For the purpose of the Local Government (Access to Information) Act 1985, the background papers in respect of the following items comprise the planning application case file.

In addition application case files are available to view print and download free of charge via the Haringey Council website:
www.haringey.gov.uk

From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility.
Enter the application reference number or site address to retrieve the case details.

The Development Management Support Team can give further advice and can be contacted on 020 8489 5504,
9.00am - 5.00pm, Monday - Friday.

Please see Application type codes below which have been added for your information within each Ward:

Application Type codes:

ADV	Advertisement Consent
CAC	Conservation Area Consent
CLDE	Certificate of Lawfulness (Existing)
CLUP	Certificate of Lawfulness (Proposed)
COND	Variation of Condition
EXTP	Replace an Extant Planning Permission
FUL	Full Planning Permission
FULM	Full Planning Permission (Major)
LBC	Listed Building Consent
LCD	Councils Own Development
LCDM	(Major) Councils Own Development
NON	Non-Material Amendments
OBS	Observations to Other Borough
OUT	Outline Planning Permission
OUTM	Outline Planning Permission (Major)
REN	Renewal of Time Limited Permission
RES	Approval of Details
TEL	Telecom Development under GDO
TPO	Tree Preservation Order application works

Recommendation Type codes:

GTD	Grant permission
REF	Refuse permission
NOT DEV	Permission not required - Not Development
PERM DEV	Permission not required - Permitted
PERM REQ	Development
RNO	Permission required
ROB	Raise No Objection

WARD: **Alexandra****CLUP Applications Decided: 2**

Application No:	HGY/2022/1374	Officer:	Martin Cowie
Decision:	PERM DEV	Decision Date:	04/07/2022
Location:	232 Alexandra Park Road N22 7BH		
Proposal:	Rear dormer roof extension with French doors and Juliet Balcony and installation of 1 rooflight on front roof slope (Certificate of Lawfulness: proposed use).		
Application No:	HGY/2022/1599	Officer:	Emily Whittredge
Decision:	PERM DEV	Decision Date:	24/06/2022
Location:	48 Outram Road N22 7AF		
Proposal:	Rear dormer and outrigger extensions and front roof lights (Certificate of lawfulness)		

FUL Applications Decided: 21

Application No:	HGY/2022/1030	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	25/08/2022
Location:	98 Palace Gates Road N22 7BL		
Proposal:	Proposed roof terrace with associated privacy screen sited above existing extension.		
Application No:	HGY/2022/1085	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	20/06/2022
Location:	21 Alexandra Park Road N10 2DD		
Proposal:	Erection of rear dormer window and 1 front facing rooflight to facilitate a loft conversion.		
Application No:	HGY/2022/1176	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	23/06/2022
Location:	88 Vallance Road N22 7UG		
Proposal:	Hip to gable and rear dormer roof extensions with 3 x front rooflights and single storey rear extension		
Application No:	HGY/2022/1178	Officer:	Mark Chan
Decision:	GTD	Decision Date:	22/06/2022
Location:	Ground Floor Flat 54 Windermere Road N10 2RG		
Proposal:	Erection of a single storey rear/ side extension.		
Application No:	HGY/2022/1180	Officer:	Mark Chan
Decision:	GTD	Decision Date:	20/06/2022
Location:	18 Winton Avenue N11 2AT		
Proposal:	Erection of single storey rear extension.		

Application No:	HGY/2022/1181	Officer:	Mark Chan
Decision:	GTD	Decision Date:	27/06/2022
Location:	St Andrews Vicarage 34 Alexandra Park Road N10 2AB		
Proposal:	Demolition of existing rear extension and erection of a single storey rear extension. Installation of insulated render system to flank wall and 2nos. rooflights.		
Application No:	HGY/2022/1273	Officer:	Mark Chan
Decision:	GTD	Decision Date:	25/07/2022
Location:	87 The Avenue N10 2QG		
Proposal:	Loft extension including a rear roof dormer and a side roof dormer and installation of rooflights. Extension to the rear patio and replacement of rear windows, doors and staircase. Demolition of ground floor rear shed and erection of a green house. Enlargement and lower the depth by 0.6m of existing basement floor rear extension and erection of new steps to the rear garden.		
Application No:	HGY/2022/1309	Officer:	Christopher Smith
Decision:	GTD	Decision Date:	13/07/2022
Location:	Alexandra Park Alexandra Palace Way N22		
Proposal:	Installation of 2no petanque courts measuring 16m x 4.5m each and associated tree works (20% crown reduction of 3no maple trees).		
Application No:	HGY/2022/1322	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	24/06/2022
Location:	27 Grasmere Road N10 2DH		
Proposal:	Construction of rear & outrigger dormer extensions, to facilitate Loft Conversion, with associated rooflights.		
Application No:	HGY/2022/1341	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	29/06/2022
Location:	23 Coniston Road N10 2BL		
Proposal:	Erection of rear dormer roof extension (repeat of expired planning permission HGY/2015/0985)		
Application No:	HGY/2022/1381	Officer:	James Mead
Decision:	GTD	Decision Date:	21/07/2022
Location:	39 Victoria Road N22 7XA		
Proposal:	Conversion of two flats into a single dwellinghouse. Erection of single storey rear infill extension, construction of outbuilding in rear garden, replacement of windows to the rear, enlargement of windows openings to the rear and creation of green roof on outrigger. Loft conversion, erection of a roof extension to the rear, installation of a rear dormer, creation of a rear roof terrace with balustrade/screens, enlargement of chimney and addition of front rooflights.		
Application No:	HGY/2022/1409	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	04/07/2022
Location:	9 Vallance Road N22 7UD		
Proposal:	Erection of single storey rear extension (conservatory) with raised patio.		
Application No:	HGY/2022/1410	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	05/07/2022
Location:	1 Donovan Avenue N10 2JU		
Proposal:	Single storey rear extension and modification to small windows to front extension		

Application No:	HGY/2022/1411	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	05/07/2022
Location:	67 Grosvenor Road N10 2DU		
Proposal:	Single storey rear extension (following demolition of existing) and associated terrace		
Application No:	HGY/2022/1493	Officer:	Mark Chan
Decision:	GTD	Decision Date:	29/07/2022
Location:	16 Clifton Road N22 7XN		
Proposal:	Enlargement of rear dormer and installation of solar panels on top of rear dormer, repositioning of front rooflights, demolition of existing rear extension and outbuilding and erection of a single storey rear extension and a lean-to semi-open area, creation of a paved terrace in rear garden and associated landscaping, installation of bike and bin stores to front garden, replacement of front windows, and alterations to front boundary wall and associated works.		
Application No:	HGY/2022/1555	Officer:	Conor Guilfoyle
Decision:	REF	Decision Date:	11/07/2022
Location:	189 Victoria Road N22 7XH		
Proposal:	Formation of hardstanding in front garden to accommodate car parking bay and access steps. Associated excavation and reprofiling of garden land and formation of retaining walls and guard rails.		
Application No:	HGY/2022/1560	Officer:	Mark Chan
Decision:	GTD	Decision Date:	02/09/2022
Location:	Flat B 46 Alexandra Park Road N10 2AD		
Proposal:	Erection of a rear roof terrace at first floor level and replacement of rear windows with patio doors for access.		
Application No:	HGY/2022/1593	Officer:	Ben Coffie
Decision:	REF	Decision Date:	10/08/2022
Location:	Flat A 50 Rosebery Road N10 2LJ		
Proposal:	Replacement of existing rotting decking and erection of 90cm tall wooden picket fence on three facades.		
Application No:	HGY/2022/1639	Officer:	Mark Chan
Decision:	GTD	Decision Date:	08/08/2022
Location:	Flat A 38 Muswell Road N10 2BG		
Proposal:	Erection of a single storey side and rear wraparound extension.		
Application No:	HGY/2022/1820	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	25/08/2022
Location:	9 Alexandra Park Road N10 2DD		
Proposal:	Replacing boundary fence with 2m high timber fence topped by 0.8m timber trellis		
Application No:	HGY/2022/1860	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	12/08/2022
Location:	15 Rhodes Avenue N22 7UR		
Proposal:	Single storey wrap around extension. First floor side and rear extension. Alterations to front elevation.		

Application No:	HGY/2022/1702	Officer:	Toby Williams
Decision:	GTD	Decision Date:	07/07/2022
Location:	5-7 Cranbourne Road N10 2BT		
Proposal:	Non-Material Amendment sought to planning permission HGY/2020/2784 for the addition of a front facing rooflight.		
Application No:	HGY/2022/1777	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	15/09/2022
Location:	374 Alexandra Park Road N22 7BD		
Proposal:	Non-material amendment application following a grant of planning permission HGY/2021/2713 for the relocation of cycle storage to existing garage. Relocation of car parking space in garage to previous cycle storage.		

Total Applications Decided for Ward: 25

WARD: Bounds Green

CLDE Applications Decided: 1

Application No:	HGY/2022/1564	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	06/09/2022
Location:	106 Whittington Road N22 8YH		
Proposal:	Certificate of lawfulness for use of property as 2 self contained flats.		

CLUP Applications Decided: 3

Application No:	HGY/2022/1481	Officer:	Oskar Gregersen
Decision:	PERM DEV	Decision Date:	13/07/2022
Location:	16 Eastern Road N22 7DD		
Proposal:	Certificate of lawfulness for a proposed side return extension measuring 4.1m deep and 3m high.		
Application No:	HGY/2022/1939	Officer:	Oskar Gregersen
Decision:	PERM DEV	Decision Date:	05/09/2022
Location:	26 Richmond Road N11 2QR		
Proposal:	Certificate of lawfulness: Erection of 3m deep 3m high side extension.		
Application No:	HGY/2022/2098	Officer:	Oskar Gregersen
Decision:	PERM DEV	Decision Date:	16/08/2022
Location:	74 Blake Road N11 2AH		
Proposal:	Certificate of lawfulness: Erection of 3m deep, 3m high rear extension, and formation of hip-to-gable roof extension with installation of front roof lights		

COND Applications Decided: 1

Application No:	HGY/2022/1503	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	04/08/2022
Location:	Site Adjoining 31-34 Corbett Grove N22 8DE		
Proposal:	Variation of condition 2 (approved plans and details) of planning permission HGY/2019/3107 to create a basement below the footprint of both houses with associated lightwells.		

FUL Applications Decided: 7

Application No: **HGY/2022/1254** Officer: James Mead
 Decision: GTD Decision Date: 07/07/2022
 Location: 124 Woodfield Way N11 2NU
 Proposal: Single storey rear extension and creation of decking.

Application No: **HGY/2022/1320** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 22/06/2022
 Location: 8 Commerce Road N22 8ED
 Proposal: Change of use from A1 retail shop (now E Class) to A5 hot food takeaway (Sui-generis) and installation of extractor flue at the rear

Application No: **HGY/2022/1399** Officer: Toby Williams
 Decision: GTD Decision Date: 23/09/2022
 Location: First Floor Flat 101 Myddleton Road N22 8NE
 Proposal: Erection of a dormer extension to rear of main roof incorporating a juliette balcony, and the replacement of first floor rear elevation windows with larger windows (amended description).

Application No: **HGY/2022/1495** Officer: Tania Skelli
 Decision: GTD Decision Date: 07/07/2022
 Location: 24 Torrington Gardens N11 2AB
 Proposal: Full width, single storey rear extension at ground floor level approx. 1.75m. Replacement stair access to the garden. Small single storey store at rear garden level approx. 1.6m from the undercroft.

Application No: **HGY/2022/1571** Officer: Laina Levassor
 Decision: GTD Decision Date: 21/07/2022
 Location: Cherry Tree House 72 Truro Road N22 8DN
 Proposal: Roof covering replacements

Application No: **HGY/2022/1583** Officer: Sarah Madondo
 Decision: GTD Decision Date: 10/08/2022
 Location: 26 Bounds Green Road N11 2QH
 Proposal: Conversion of existing property into two flats including the erection of dormer on the main rear roof slope, a dormer on the rear outrigger roof and the installation of an external staircase.

Application No: **HGY/2022/2023** Officer: Oskar Gregersen
 Decision: GTD Decision Date: 08/09/2022
 Location: 31 Richmond Road N11 2QR
 Proposal: Single storey rear extension

NON Applications Decided: 3

Application No: **HGY/2022/0660** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 07/09/2022
 Location: 26-28 Brownlow Road N11 2DE

Proposal:	Non-material amendment to full planning permission HGY/2020/1615 for:		
	<ul style="list-style-type: none"> - Amendment 01 - Sliding patio doors proposed on east and north elevation to replace approved windows. - Amendment 02 - Additional door opening proposed to plot 7 (first floor) and 13 (second floor) to allow access to external terrace. - Amendment 03 - Window and patio door positioning slightly amended on the proposed side (north) elevation. - Amendment 04 - Minor alteration to the window height on south elevation serving ground floor kitchen. - Amendment 05 - Grey obscured glazed infill panels included within window design. - Amendment 06 - OV required to be above lift shaft structure at roof level. - Amendment 07 - 3rd floor windowsills set to a minimum of 800mm above the FFL. - Amendment 08 - Addition of horizontal glazing bars to allow for openable windows. - Amendment 09 - 4no. door leaves on west elevation to replace 3 (to avoid doors being too wide). 		
Application No:	HGY/2022/1233	Officer:	Conor Guilfoyle
Decision:	REF	Decision Date:	05/08/2022
Location:	2 Terrick Road N22 7SH		
Proposal:	Non material amendment to planning permission ref: HGY/2020/1123 (variation of approved plans of original planning permission reference HGY/2019/1431) to replace the composite sash windows with UPVC frames to match the style and shape of the windows in the original application.		
Application No:	HGY/2022/1733	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	30/08/2022
Location:	Land opposite 16 Park Road Edith Road N11 2QE		
Proposal:	Non-material amendment following a grant of planning permission ref. HGY/2020/0589 dated 3rd July 2020 for the erection of part 2/3/4-storey block of 8no. houses and flats with cycle and refuse storage facilities and associated amenity area and landscaping at former car parking site; namely elevational changes and internal layout amendments.		

Total Applications Decided for Ward: 15

WARD: Bruce Grove

CLDE Applications Decided: 1

Application No:	HGY/2022/1626	Officer:	Laina Levassor
Decision:	REF	Decision Date:	25/08/2022
Location:	19 Fairbourne Road N17 6TP		
Proposal:	Certificate of Lawfulness for the existing use as 2 self-contained units		

CLUP Applications Decided: 1

Application No:	HGY/2022/1484	Officer:	Oskar Gregersen
Decision:	PERM DEV	Decision Date:	19/07/2022
Location:	21 Higham Road N17 6NF		
Proposal:	Certificate of lawfulness for the proposed formation of a rear dormer roof extension and the installation of 2 rooflights on the front slope.		

FUL Applications Decided: 20

Application No:	HGY/2022/0509	Officer:	Sabelle. Adjagboni
Decision:	GTD	Decision Date:	30/08/2022
Location:	318A Mount Pleasant Road N17 6HA		
Proposal:	Erection of single storey ground floor rear and side extension.		

Application No:	HGY/2022/1192	Officer:	Neil McClellan
Decision:	GTD	Decision Date:	08/07/2022
Location:	Flat 2 104 Napier Road N17 6YH		
Proposal:	Loft conversion with rear dormer on the main roof and onto the outrigger projection and rooflights to the front roof slope.		
Application No:	HGY/2022/1344	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	20/06/2022
Location:	Flat A 48 Ranelagh Road N17 6XU		
Proposal:	Removal of side shed and erection of a single storey rear wraparound extension with a partial infill creating a courtyard including the installation of 3x rooflights and rear facing bi-folding doors.		
Application No:	HGY/2022/1405	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	27/06/2022
Location:	81 The Avenue N17 6TB		
Proposal:	Replacement of single glazed timber windows with double glazed uPVC units on the front and rear elevations, finished in in white foil to match the existing windows. Replacement of front entrance door with new timber pannelled door, and replacement of any rear glass panels doors with new uPVC glass panels doors.		
Application No:	HGY/2022/1406	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	27/06/2022
Location:	89 The Avenue N17 6TB		
Proposal:	Replacement of single glazed timber windows with double glazed uPVC units on the front and rear elevations, finished in in white foil to match the existing windows. Replacement of front entrance door with new timber pannelled door, and replacement of any rear glass panels doors with new uPVC glass panels doors.		
Application No:	HGY/2022/1514	Officer:	Emily Whittredge
Decision:	GTD	Decision Date:	28/07/2022
Location:	111-113 The Avenue N17 6TF		
Proposal:	Replacement of single glazed timber windows with double glazed uPVC units on front and rear elevations; Replacement of front entrance door with timber pannelled door, and replacement of any rear glass panel doors with uPVC glass panel doors.		
Application No:	HGY/2022/1530	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	04/08/2022
Location:	Shop 515-519 High Road N17 6SB		
Proposal:	Installation of retractable awning		
Application No:	HGY/2022/1538	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	07/07/2022
Location:	36 The Avenue N17 6TD		
Proposal:	Replacement of single glazed timber windows with double glazed uPVC units on the front and rear elevations, finished in in white foil to match the existing windows. Replacement of front entrance door with new timber pannelled door, and replacement of any rear glass panels doors with new uPVC glass panels doors.		
Application No:	HGY/2022/1539	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	07/07/2022
Location:	40-42 The Avenue N17 6TD		

Proposal:	Replacement of single glazed timber windows with double glazed uPVC units on the front and rear elevations, finished in in white foil to match the existing windows only on property No. 42. Replacement of front entrance door with new timber pannelled door, and replacement of any rear glass panels doors with new uPVC glass panels doors on property No. 41 and 42.		
Application No:	HGY/2022/1540	Officer:	Emily Whittredge
Decision:	GTD	Decision Date:	12/07/2022
Location:	142 The Avenue N17 6TG		
Proposal:	Replacement of single glazed timber windows with double glazed uPVC units on the front and rear elevations, finished in in white foil to match the existing windows. Replacement of front entrance door with new timber pannelled door, and replacement of rear glass panels doors with new uPVC glass panels doors.		
Application No:	HGY/2022/1541	Officer:	Emily Whittredge
Decision:	GTD	Decision Date:	20/07/2022
Location:	22 The Avenue N17 6TD		
Proposal:	Replacement of single glazed timber windows with double glazed uPVC units on the front and rear elevations, finished in in white foil to match the existing windows. Replacement of front entrance door with new timber pannelled door, and replacement of any rear glass panels doors with new uPVC glass panels doors. Replacement of existing roof covering with new artificial slates covering		
Application No:	HGY/2022/1542	Officer:	Emily Whittredge
Decision:	GTD	Decision Date:	20/07/2022
Location:	Flat A 222 The Avenue N17 6JN		
Proposal:	Single storey rear extension		
Application No:	HGY/2022/1543	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	14/07/2022
Location:	130 The Avenue N17 6TG		
Proposal:	Replacement of all single glazed timber windows with double glazed uPVC units on the front and rear elevations, finished in white foil wood effect laminate to match the existing windows. Replacement of the front entrance door with a new timber pannelled door, and replacement of any glass pannelled doors to the rear with new uPVC glass pannelled doors.		
Application No:	HGY/2022/1561	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	18/07/2022
Location:	102 The Avenue N17 6TG		
Proposal:	Replacement of front entrance door with new timber pannelled door.		
Application No:	HGY/2022/1587	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	25/07/2022
Location:	105 Creighton Road N17 8JS		
Proposal:	A replacement single storey rear extension and changes to the existing garage.		
Application No:	HGY/2022/1602	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	03/08/2022
Location:	Flat A 4 Moorefield Road N17 6PY		
Proposal:	Erection of a rear roof dormer		

Application No: **HGY/2022/1804** Officer: Oskar Gregersen
 Decision: GTD Decision Date: 11/08/2022
 Location: 66 Beaufoy Road N17 8BU
 Proposal: The extension of a rear outbuilding.

Application No: **HGY/2022/2011** Officer: Laina Levassor
 Decision: GTD Decision Date: 12/09/2022
 Location: 3 Belton Road N17 6YF
 Proposal: Replacement of existing conservatory with single storey rear extension. Erection of single storey side extension. Erection of rear dormer and outrigger extensions to facilitate loft conversion.

Application No: **HGY/2022/2020** Officer: Oskar Gregersen
 Decision: REF Decision Date: 05/09/2022
 Location: 108 Great Cambridge Road N17 8LT
 Proposal: Single storey rear extension 6m long at 108 Great Cambridge Road N17 8LT

Application No: **HGY/2022/2135** Officer: Sarah Madondo
 Decision: GTD Decision Date: 21/09/2022
 Location: 12 Mount Pleasant Road N17 6TS
 Proposal: Roof conversion including the erection of an L-shaped dormer to the main rear roof and outrigger and the installation of two roof windows to the front roof slope.

PNC Applications Decided: 1

Application No: **HGY/2022/1520** Officer: Mercy Oruwari
 Decision: PN GRANT Decision Date: 15/07/2022
 Location: 4 Moorefield Road N17 6PY
 Proposal: Application to determine if prior approval is required for a proposed Change of use from Commercial, Business and Service (Use Class E) to Dwellinghouses (Use Class C3) - Change of use of Ground floor vacant retail unit to create 1x studio flat including internal works only.

PNE Applications Decided: 2

Application No: **HGY/2022/1286** Officer: Oskar Gregersen
 Decision: PN REFUSED Decision Date: 27/06/2022
 Location: 21 Higham Road N17 6NF
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

Application No: **HGY/2022/1620** Officer: Laina Levassor
 Decision: PN NOT REQ Decision Date: 02/08/2022
 Location: 20 Dongola Road N17 6EE
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 5.25m, for which the maximum height would be 3m and for which the height of the eaves would be 2.3m

Total Applications Decided for Ward: 25WARD: **Crouch End****CLDE Applications Decided: 1**

Application No: **HGY/2022/1688** Officer: Laina Levassor
 Decision: GTD Decision Date: 14/07/2022
 Location: Flat 3 4 Christchurch Road N8 9QL
 Proposal: Certificate of Lawfulness for the existing as a self-contained unit

FUL Applications Decided: 21

Application No: **HGY/2022/0255** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 19/08/2022
 Location: 19 Priory Gardens N6 5QY
 Proposal: Formation of roof extension to create a flat (2-bedroom, 4 person) with associated external roof terrace; Associated alterations to existing building including raising of parapet and external alterations.

Application No: **HGY/2022/0712** Officer: Tania Skelli
 Decision: GTD Decision Date: 04/07/2022
 Location: Flat D 5 Shepherds Hill N6 5QJ
 Proposal: Formation of rear and side roof extension to replace existing accommodation with an additional 1-bed home, to include rear dormer, 4x new rooflights, works of refurbishment to existing front dormer, replacement of window with door and new glass balustrade.

Application No: **HGY/2022/0979** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 27/07/2022
 Location: Hillside 74 Crouch End Hill N8 8DN
 Proposal: Erection of a rear extension to the existing building to create 1 x 1 bedroom, 2 person occupancy flat with associated roof terrace.

Application No: **HGY/2022/1005** Officer: Mark Chan
 Decision: GTD Decision Date: 18/07/2022
 Location: 15 Hurst Avenue N6 5TX
 Proposal: Roof extension including raising roof and ridge height, erection of a rear dormer window, and installation of front and side rooflights. Erection of a two-storey rear extension. Alterations to existing side extension and installation of a glazed link on ground floor level.

Application No: **HGY/2022/1008** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 07/07/2022
 Location: 91 Claremont Road N6 5BZ
 Proposal: Replacement of two existing rear roof dormers with larger rear dormer including associated access to a roof terrace to be created on rear flat roof; Installation of additional front roof light (AMENDED PLANS).

Application No: **HGY/2022/1060** Officer: Matthew Gunning
 Decision: GTD Decision Date: 04/07/2022
 Location: 67 Glasslyn Road N8 8RJ
 Proposal: Erection of single-storey rear extension.

Application No: **HGY/2022/1247** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 24/06/2022
 Location: Exchange House 71 Crouch End Hill N8 8DF
 Proposal: Replacement Plant at Roof Level

Application No:	HGY/2022/1353	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	04/07/2022
Location:	Flat B 89 Ferme Park Road N8 9SA		
Proposal:	Erection of rear garden outbuilding for use as a shed/garden room.		
Application No:	HGY/2022/1378	Officer:	James Mead
Decision:	GTD	Decision Date:	21/06/2022
Location:	Flat A 17 Womersley Road N8 9AE		
Proposal:	Erection of an outbuilding at the rear to be used for purposes incidental to the main house.		
Application No:	HGY/2022/1400	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	08/07/2022
Location:	6 Sandringham Gardens N8 9HU		
Proposal:	Demolition of existing single storey side extension and erection of part-single, part-two-storey side extension including associated alterations/extension to existing front elevation porch canopy and insertion of additional bay window to first floor front elevation		
Application No:	HGY/2022/1470	Officer:	James Mead
Decision:	GTD	Decision Date:	22/07/2022
Location:	32 Avenue Road N6 5DW		
Proposal:	Replacement of front windows at lower ground floor with new enlarged timber sash windows, replacement of door at lower ground floor level on the front, alteration to front steps, installation of timber sash windows on side and installation of replacement rear patio doors.		
Application No:	HGY/2022/1498	Officer:	Ben Coffie
Decision:	REF	Decision Date:	04/08/2022
Location:	Earl Haig Memorial Hall Elder Avenue N8 9TH		
Proposal:	Relocation of a buggy store		
Application No:	HGY/2022/1537	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	11/07/2022
Location:	Flat A 39 Weston Park N8 9SY		
Proposal:	Erection of single storey rear extension.		
Application No:	HGY/2022/1545	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	20/07/2022
Location:	6 Priory Gardens N6 5QS		
Proposal:	Demolition and replacement of existing front porch to same footprint; replacement rear dormer windows; replacement of existing front roof light; and installation of new roof light on rear roof slope.		
Application No:	HGY/2022/1547	Officer:	Kwaku Bossman-Gyamera
Decision:	REF	Decision Date:	27/07/2022
Location:	25-27 Crescent Road N8 8AL		
Proposal:	Removal of existing hipped roof and construction of new mansard roof with dormers, and rear extension at second-floor level.		

Application No:	HGY/2022/1579	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	22/07/2022
Location:	First and Second Floor Flat 11 Dashwood Road N8 9AD		
Proposal:	Erection of outbuilding to rear garden of upper flat		
Application No:	HGY/2022/1584	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	14/07/2022
Location:	Garden Flat A 48 Avenue Road N6 5DR		
Proposal:	Replacement single storey rear extension to a depth of 5.55m		
Application No:	HGY/2022/1636	Officer:	Mark Chan
Decision:	GTD	Decision Date:	05/09/2022
Location:	27 Elm Grove N8 9AH		
Proposal:	Erection of a rear dormer and rear roof terrace with balustrades, installation of 2 front rooflights, replacement of existing windows with double glazing, and installation of ASHP and external wall insulation to rear elevation.		
Application No:	HGY/2022/1637	Officer:	Mark Chan
Decision:	GTD	Decision Date:	18/08/2022
Location:	66 Cecile Park N8 9AU		
Proposal:	Demolition of rear garden shed and erection of a rear garden outbuilding.		
Application No:	HGY/2022/1641	Officer:	Mark Chan
Decision:	GTD	Decision Date:	22/08/2022
Location:	4 Carysfort Road N8 8RB		
Proposal:	Demolition of existing ground floor extension and erection of a new single storey rear extension, floor infill rear extension, and rear roof terrace with balustrade.		
Application No:	HGY/2022/1710	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	15/09/2022
Location:	Ground Floor Flat B 7 Wolseley Road N8 8RR		
Proposal:	Replacement of existing playhouse with the erection of a rear garden outbuilding.		

NON Applications Decided: 1

Application No:	HGY/2022/1558	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	15/07/2022
Location:	49 Glasslyn Road N8 8RJ		
Proposal:	Application for a Non-Material Amendment to HGY/2021/2617 (side and dormers, alterations to rear gable and installation rooflights) to include an integrated solar panel in the front roofslope and projecting solar panels on the approved dormers.		

RES Applications Decided: 4

Application No:	HGY/2022/1332	Officer:	Toby Williams
Decision:	GTD	Decision Date:	21/07/2022
Location:	Morriss House 23 Coolhurst Road N8 8EP		
Proposal:	Part approval of details pursuant to condition 7 (cycle storage) and condition 8 (waste/recycling) in relation to 23A Coolhurst Road only, attached to planning permission HGY/2021/0116.		

Application No:	HGY/2022/1404	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	02/09/2022
Location:	Hillside 74 Crouch End Hill N8 8DN		
Proposal:	Approval of details pursuant to conditions 3 (Materials) and 4 (Construction Method Statement) attached to planning permission HGY/2021/1971		
Application No:	HGY/2022/1494	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	30/06/2022
Location:	Highgate Lodge 9 Waverley Road N8 9QS		
Proposal:	Approval of details pursuant to condition 3 (Materials), 5a (Living Roof), 9 (Arboricultural method Statement) and 12 (Structural Engineer) attached to planning permission HGY/2021/1757 dated 28/7/2021 for the erection of a two-storey rear extension to create four additional studios and one wheelchair accessible studio for the existing hostel use (sui generis), along with alterations to the front facade, landscaping works, creation of a garden room (gym and laundry for hostel), ten cycle spaces and one on-site disabled parking space		
Application No:	HGY/2022/1577	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	01/09/2022
Location:	Hillside 74 Crouch End Hill N8 8DN		
Proposal:	Approval of details pursuant to conditions 7 (Tree works) and 8 (Acoustic floor specification and design) attached to planning permission HGY/2021/1971.		

TPO Applications Decided: 1

Application No:	HGY/2022/0894	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	03/08/2022
Location:	55 Shepherds Hill N6 5QP		
Proposal:	Works to trees protected by a TPO: Rear garden area: Sycamore T1 (20M high, 700mm dia.) - remove lowest small branch over drive. Remove rubbing branch at 8 metres high. Reduce crown on building side by up to 3 metres to give 2 metres clearance from housing block. Corsican Pine T2 (20M high, 500mm dia.) - remove lowest small branch over drive. Rear garden and behind garage block. Lime T3 (16M high, 600mm dia.) - reduce the crown of the tree by up to 3 metres and back to the most recent points of reduction. Lime T4 (16M high, 600mm dia.) - reduce the crown of the tree by up to 3 metres and back to the most recent points of reduction.		

(Works to Sycamore, Holly & Laurel G1 will be considered separately under a Section 211 Notice)

Total Applications Decided for Ward: 28

WARD: **Fortis Green**

FUL Applications Decided: 11

Application No:	HGY/2022/1100	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	22/08/2022
Location:	18 Wellfield Avenue N10 2EA		
Proposal:	Demolition of the existing conservatory, erection of a new single-storey rear extension including the creation of a basement and associated landscape works, the reinstatement of the front porch and the replacement of existing PVC windows with double glazed timber windows to the rear.		
Application No:	HGY/2022/1144	Officer:	Mark Chan
Decision:	GTD	Decision Date:	07/07/2022
Location:	18 Woodberry Crescent N10 1PH		
Proposal:	Demolition of existing rear extension and erection of a single storey rear and side extension. Alterations to steps and hardstanding in rear garden.		

Application No:	HGY/2022/1148	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	04/07/2022
Location:	76 Creighton Avenue N10 1NT		
Proposal:	Part single, part two storey rear extension. Single storey side extension to replace existing garage. Roof alterations including rear and side dormers.		
Application No:	HGY/2022/1271	Officer:	Mark Chan
Decision:	GTD	Decision Date:	22/07/2022
Location:	Flat 23 Whittington Court Aylmer Road N2 0BT		
Proposal:	Replacement of windows and door with double glazed uPVC windows and door.		
Application No:	HGY/2022/1364	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	06/07/2022
Location:	11 Marriott Road N10 1JJ		
Proposal:	Proposed single storey extension of 2.4m added to the existing 3.6m ground floor extension to form 6m. Proposed extension to a first-floor bedroom.		
Application No:	HGY/2022/1385	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	24/06/2022
Location:	First Floor Flat 28 Lauradale Road N2 9LU		
Proposal:	Erection of rear dormer roof extension and insertion of two front roof lights		
Application No:	HGY/2022/1420	Officer:	James Mead
Decision:	GTD	Decision Date:	12/07/2022
Location:	223 Muswell Hill Broadway N10 1DD		
Proposal:	Remove signage and make good; remove nightsafe and make good; remove ATMs and make good.		
Application No:	HGY/2022/1509	Officer:	Mark Chan
Decision:	GTD	Decision Date:	18/08/2022
Location:	60 Twyford Avenue N2 9NL		
Proposal:	Installation of a pair of bi-folding gates, railings, and a single pedestrian gate along the front boundary.		
Application No:	HGY/2022/1569	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	03/08/2022
Location:	67 Coppetts Road N10 1JH		
Proposal:	Construction of rear dormer extension, increase in height of roof ridge and eaves to match No.65, alterations including chimney removal, insertion of rooflights to front roof slope and rooflight to front porch.		
Application No:	HGY/2022/1791	Officer:	Mark Chan
Decision:	GTD	Decision Date:	15/09/2022
Location:	19 Greenfield Drive N2 9AF		
Proposal:	Erection of an outbuilding in the rear garden.		
Application No:	HGY/2022/2150	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	22/09/2022
Location:	32 Springcroft Avenue N2 9JE		
Proposal:	Part extension at first floor level and glass roof.		

LBC Applications Decided: 1

Application No: **HGY/2022/1317** Officer: Tania Skelli
 Decision: GTD Decision Date: 30/06/2022
 Location: Telephone Box Queens Avenue N10 1DD
 Proposal: Listed Building Consent for the change of use from 1no. BT telephone box to 1no. self-contained retail unit. Removal of handset and installation of a stationary dispenser.

PNE Applications Decided: 1

Application No: **HGY/2022/1194** Officer: Laina Levassor
 Decision: PN NOT REQ Decision Date: 21/06/2022
 Location: 67 Coppetts Road N10 1JH
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 5m, for which the maximum height would be 3m and for which the height of the eaves would be 3m.

RES Applications Decided: 4

Application No: **HGY/2021/2696** Officer: Christopher Smith
 Decision: GTD Decision Date: 19/07/2022
 Location: Coppetts Wood Hospital Coppetts Road N10 1JN
 Proposal: Approval of details pursuant to condition 4 (heritage management strategy) attached to planning permission HGY/2018/1643.

Application No: **HGY/2021/3528** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 13/09/2022
 Location: 4 Shakespeare Gardens N2 9LJ
 Proposal: Approval of details pursuant to condition 3 (Materials) & 8 (Green roof details) attached to planning permission ref: HGY/2019/1370.

Application No: **HGY/2022/1237** Officer: Tania Skelli
 Decision: GTD Decision Date: 12/07/2022
 Location: 17 Kings Avenue N10 1PA
 Proposal: Approval of details pursuant to condition 6 (Refuse storage) and 7 (Basement engineer) attached to planning permission HGY/2021/2613 dated 2/11/2021 for the conversion of basement floor to form 1 x 3 bed self-contained flat. Rear extension of existing ground floor flat and installation of balconies to ground, first and second floor levels including alterations to rear elevations fenestration and formation of light well to front garden; including side infill along all floors, installation of rear staircase to form access to garden and internal layout alterations.

Application No: **HGY/2022/1632** Officer: Samuel Uff
 Decision: GTD Decision Date: 15/08/2022
 Location: 14-37 Aylmer Parade N2 0PE
 Proposal: Approval of details reserved by condition 7 (NRMM) of HGY/2020/2291 for erection of 4 townhouses

TPO Applications Decided: 3

Application No: **HGY/2022/0593** Officer: Matthew Gunning
 Decision: GTD Decision Date: 20/06/2022
 Location: 16 Beech Drive N2 9NY
 Proposal: Works to trees protected by a TPO: Tree located in Rear Garden T1 - Large Oak - Selectively reduce laterals by 0.5-1m (regrowth). Height to remain at present level T2 - Large Oak - Crown reduce height by 1-1.5 metre (Regrowth) - Reduce Lateral on southern side by 2-2.5 Metre (selectively) to form a balanced symmetrical shaped canopy

Application No:	HGY/2022/0675	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	13/07/2022
Location:	Eden School 79 Creighton Avenue N10 1NR		
Proposal:	Works to tree protected by a TPO: T2 large Beech: fell as close as possible to ground level Reason for felling: The principal decay fungus that is believed to be present is Meripilus giganteus. This assumption has been made for the following reasons: - It is often associated with this species - The original surveyor reported several fruiting bodies around the base. This is a typical appearance when this fungus produces fruiting bodies - The remnants have the appearance of this fungus' fruiting bodies - This fungus is often associated with a declining crown, as seen in this case		
Application No:	HGY/2022/1096	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	28/06/2022
Location:	189 Creighton Avenue N2 9BN		
Proposal:	Works to tree protected by a TPO: T1 Oak: reduction in all lateral growth proliferating from T1 back from the adjacent property to previous reduction points; reduction in crown back to point of historic reduction		

Total Applications Decided for Ward: 20

WARD: Harringay

CLDE Applications Decided: 3

Application No:	HGY/2022/1368	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	05/07/2022
Location:	118 Pemberton Road N4 1BA		
Proposal:	Retention of roof terrace to rear of property (Certificate of Lawfulness: existing use).		
Application No:	HGY/2022/1477	Officer:	Oskar Gregersen
Decision:	REF	Decision Date:	14/07/2022
Location:	Flat 1 104 Wightman Road N4 1RN		
Proposal:	Certificate of lawfulness: Existing use of site a seven self-contained flats		
Application No:	HGY/2022/1800	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	12/07/2022
Location:	659-661 Green Lanes N8 0QY		
Proposal:	Certificate of Lawfulness for the existing use as 4 self-contained units		

CLUP Applications Decided: 3

Application No:	HGY/2022/1666	Officer:	Emily Whittredge
Decision:	PERM DEV	Decision Date:	28/06/2022
Location:	43 Effingham Road N8 0AA		
Proposal:	Rear dormer and outrigger extensions and front roof lights (Certificate of lawfulness)		
Application No:	HGY/2022/1674	Officer:	Gareth Prosser
Decision:	PERM DEV	Decision Date:	28/06/2022
Location:	121 Lothair Road North N4 1ER		
Proposal:	Certificate of lawfulness for creation of a loft conversion with x3 Velux rooflights to the front of the property and a dormer to the rear, Existing porch area to be enclosed with a new door.		

Application No: **HGY/2022/1938** Officer: Oskar Gregersen
 Decision: PERM DEV Decision Date: 31/08/2022
 Location: 82 Falkland Road N8 0NP
 Proposal: Certificate of lawfulness: Erection of rear dormer and outrigger roof extensions. Installation of roof lights on front slope.

FUL Applications Decided: 16

Application No: **HGY/2021/2587** Officer: Toby Williams
 Decision: GTD Decision Date: 22/07/2022
 Location: 559 Green Lanes N8 0RL
 Proposal: Erection of ventilation extract duct and associated alterations

Application No: **HGY/2022/0787** Officer: Gareth Prosser
 Decision: REF Decision Date: 22/06/2022
 Location: 300 Wightman Road N8 0LT
 Proposal: Erection of rear extension and improvements to the existing 1st floor flat. Creation of a new dwelling (2-bedroom) at the rear of the site. Associated cycle parking and refuse storage.

Application No: **HGY/2022/1049** Officer: Conor Guilfoyle
 Decision: NPW Decision Date: 24/06/2022
 Location: Belgrave Mansions 7 Willoughby Road N8 0HR
 Proposal: Erection of a two storey rear extension to facilitate the creation of a new two bedroom dwelling.

Application No: **HGY/2022/1071** Officer: Laina Levassor
 Decision: GTD Decision Date: 19/07/2022
 Location: Ground Floor Flat 129 Beresford Road N8 0AG
 Proposal: Erection of single storey wraparound extension.

Application No: **HGY/2022/1203** Officer: Gareth Prosser
 Decision: GTD Decision Date: 06/07/2022
 Location: 6 Tancred Road N4 1EH
 Proposal: Excavation of basement.

Application No: **HGY/2022/1311** Officer: Sarah Madondo
 Decision: GTD Decision Date: 19/07/2022
 Location: Flat A 1 Queens Parade Green Lanes N8 0RD
 Proposal: Enlargement of existing rear ground floor HMO flat, raising the height of existing roof line, alteration of roof profile, new grey timber door and new grey coloured double glazed windows/door

Application No: **HGY/2022/1388** Officer: Gareth Prosser
 Decision: GTD Decision Date: 29/06/2022
 Location: 121 Lothair Road North N4 1ER
 Proposal: Creation of a single storey rear infill extension.

Application No:	HGY/2022/1419	Officer:	James Mead
Decision:	GTD	Decision Date:	22/07/2022
Location:	43 Effingham Road N8 0AA		
Proposal:	Erection of ground floor rear extension.		
Application No:	HGY/2022/1436	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	11/07/2022
Location:	447A Green Lanes N4 1HA		
Proposal:	Retrospective planning application for the use of the first floor and second floors of the property as a 5-bedroom HMO (House in Multiple Occupation).		
Application No:	HGY/2022/1491	Officer:	Mark Chan
Decision:	GTD	Decision Date:	28/07/2022
Location:	61 Allison Road N8 0AN		
Proposal:	Erection of a single storey rear extension and a L-shaped roof extension including rear dormer above rear outrigger, and installation of 3 front rooflights.		
Application No:	HGY/2022/1510	Officer:	Mark Chan
Decision:	GTD	Decision Date:	04/08/2022
Location:	4 Alroy Road N4 1EF		
Proposal:	Increase in height of existing lower ground floor, creation of front lightwell.		
Application No:	HGY/2022/1563	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	14/07/2022
Location:	85 Raleigh Road N8 0JD		
Proposal:	Erection of single storey rear / infill extension		
Application No:	HGY/2022/1597	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	10/08/2022
Location:	349 Wightman Road N8 0NA		
Proposal:	Enlargement of existing rear dormer, new ground floor side extension and internal alterations to existing HMO to provide a 7-bedroom, 7-person HMO (sui-generis use), together with new cycle and refuse storage.		
Application No:	HGY/2022/1671	Officer:	Mark Chan
Decision:	GTD	Decision Date:	23/08/2022
Location:	20 Allison Road N8 0AT		
Proposal:	Erection of a L-shaped loft extension and 3 front rooflights.		
Application No:	HGY/2022/1734	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	26/08/2022
Location:	Shop 429 Green Lanes N4 1HA		
Proposal:	Placement of 3 fixed windows facing Cavendish road with sliding windows to allow for natural ventilation. Addition of awning above all shop windows to provide solar shading.		
Application No:	HGY/2022/1779	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	02/08/2022
Location:	First Floor Flat 86 Seymour Road N8 0BG		
Proposal:	Replacement of first floor central rear bay window with a set of inward opening french doors and a 'Juliet' balcony.		

RES Applications Decided: 1

Application No: **HGY/2022/1907** Officer: Samuel Uff
 Decision: GTD Decision Date: 19/08/2022
 Location: 590-598 Green Lanes N8 0RA
 Proposal: Approval of details pursuant to condition 13 (BREEAM) attached to planning permission ref: HGY/2016/1807

Total Applications Decided for Ward: 23WARD: **Highgate****FUL Applications Decided: 15**

Application No: **HGY/2021/2678** Officer: Matthew Gunning
 Decision: GTD Decision Date: 14/07/2022
 Location: The former Rose And Crown 86 Highgate High Street N6 5HX
 Proposal: Change of Use of existing cafe (Use Class E) to a public house (Sui Generis) including internal and external alterations, new signage (AMENDED DESCRIPTION).

Application No: **HGY/2022/0866** Officer: Samuel Uff
 Decision: GTD Decision Date: 22/06/2022
 Location: 16 Sheldon Avenue N6 4JT
 Proposal: Part single storey, part two-storey side extensions and front and rear extensions; front and rear dormers; side dormers; crossover and hardstanding; alteration of front door and windows; removal and replanting of one tree; and associated landscaping and side gate

Application No: **HGY/2022/0874** Officer: Samuel Uff
 Decision: GTD Decision Date: 04/07/2022
 Location: 32 Holmesdale Road N6 5TQ
 Proposal: Part one and part two-storey rear extension; alterations to roof; erection of two-storey rear outbuilding; raised rear patio; removal of rear tree; and associated landscaping.

Application No: **HGY/2022/0938** Officer: Samuel Uff
 Decision: GTD Decision Date: 22/06/2022
 Location: 29 North Grove N6 4SH
 Proposal: Erection of ground and lower ground floor rear extension and replace garage door with window (conversion to habitable accommodation) and rear landscaping

Application No: **HGY/2022/1019** Officer: Matthew Gunning
 Decision: GTD Decision Date: 14/07/2022
 Location: Bridge Court 138 Archway Road N6 5BJ
 Proposal: The proposal is to provide a new vehicle gate & a pedestrian gate to limit trespassing.

Application No: **HGY/2022/1082** Officer: Samuel Uff
 Decision: GTD Decision Date: 02/08/2022
 Location: 35 Kenwood Road N6 4EA
 Proposal: Erection of single storey rear outbuilding (following demolition of garage and reinstating curb) for use as 'granny annexe'.

Application No:	HGY/2022/1183	Officer:	Emily Whittredge
Decision:	GTD	Decision Date:	23/08/2022
Location:	8 Sheldon Avenue N6 4JT		
Proposal:	Proposed part single part two storey rear and side extensions, new front and rear dormers, fenestration, canopy, new rear patio, front landscaping, and front boundary wall.		
Application No:	HGY/2022/1240	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	19/07/2022
Location:	41 Langdon Park Road N6 5PT		
Proposal:	Demolition of existing single storey rear extension. Conversion of existing 4 bedroom house in to two separate residential apartments (1no. 2B4P, 1 no. 3B6P). Associated internal and external alterations.		
Application No:	HGY/2022/1376	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	30/06/2022
Location:	36 Langdon Park Road N6 5QG		
Proposal:	Erection of a Rear Dormer Window and three front facing rooflights to enlarge existing second floor flat.		
Application No:	HGY/2022/1568	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	24/08/2022
Location:	Flat A 288 Archway Road N6 5AU		
Proposal:	Further excavation of existing basement; installation of lower ground floor rear window; installation of external rear steps and associated platform		
Application No:	HGY/2022/1590	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	22/07/2022
Location:	42 Stormont Road N6 4NP		
Proposal:	Alterations and refurbishment to existing dwelling including extending terrace, replacing garage door and insertion of rooflight to main roofslope, further to previous planning permission refs. HGY/2021/1177 and HGY/2021/2149.		
Application No:	HGY/2022/1615	Officer:	Mark Chan
Decision:	GTD	Decision Date:	27/07/2022
Location:	23A Kingsley Place N6 5EA		
Proposal:	Demolition of existing conservatory, erection of a single storey rear extension and minor alterations to the front façade.		
Application No:	HGY/2022/1717	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	01/08/2022
Location:	34 Wood Lane N6 5UB		
Proposal:	Removal of existing pebbledash to the front, side and rear elevations, and replacement with lime render and mineral paint finish.		
Application No:	HGY/2022/1719	Officer:	Mark Chan
Decision:	GTD	Decision Date:	21/09/2022
Location:	129 North Hill N6 4DP		
Proposal:	Erection of a front bay window on ground floor. Insulated render to external walls. Alterations and replacement of existing fenestration with triple glazed fenestration. Roof extension including raising the ridge height and 2 rear rooflights. Enlargement of the ground floor study (AMENDED PLANS).		

Application No: **HGY/2022/1720** Officer: Mark Chan
 Decision: GTD Decision Date: 12/09/2022
 Location: 33 Shepherds Hill N6 5QJ
 Proposal: Demolition of existing rear balcony and erection of a single storey rear extension with rear roof terrace and balustrade on top and staircase on the side.

LBC Applications Decided: 3

Application No: **HGY/2021/2679** Officer: Matthew Gunning
 Decision: GTD Decision Date: 14/07/2022
 Location: The former Rose And Crown 86 Highgate High Street N6 5HX
 Proposal: Listed building consent for internal and external alterations and new signage.

Application No: **HGY/2021/3273** Officer: Matthew Gunning
 Decision: GTD Decision Date: 01/09/2022
 Location: Garages Townsend Yard N6
 Proposal: Listed Building Consent for works abutting flank wall and garden wall of No 36a Highgate High Street in association with demolition of garages in line with planning consent ref: HGY/2020/1326.

Application No: **HGY/2022/1716** Officer: Tania Skelli
 Decision: GTD Decision Date: 01/08/2022
 Location: 34 Wood Lane N6 5UB
 Proposal: Listed building consent for the removal of the existing pebbledash to the front, side and rear elevations, and replacement with a lime render and mineral paint finish.

NON Applications Decided: 4

Application No: **HGY/2021/3198** Officer: Matthew Gunning
 Decision: NOT DET Decision Date: 18/08/2022
 Location: Land At Townsend Yard N6 5JF
 Proposal: Non-material amendment to re-word condition 9 of planning permission HGY/2020/1326 to:

Prior to commencement of above ground works, details of levels shall be submitted to and approved by the Local Planning Authority showing the levels of the site prior to development and the proposed levels of the ground floor slabs of the buildings, the main building on site, the roadway to the front of the site and the accessway into the site. The development shall be carried out in accordance with those approved details. Demolition of existing structures to foundation level can commence prior to receipt of the information proposed and existing levels.

Reason: To ensure that the works are carried out at suitable levels in relation to the roadway and adjoining properties in the interests of the amenity of neighbouring residents, the appearance of the development, drainage, gradient of access and future highway improvement.

Application No: **HGY/2022/1729** Officer: Tania Skelli
 Decision: GTD Decision Date: 05/08/2022
 Location: Basement And Ground Floor Flat 32 Northwood Road N6 5TP
 Proposal: Non-material amendment following a grant of planning permission ref. HGY/2021/3252 dated 21st December 2021 for demolition of rear conservatory extension and erection of single storey side and rear extension; namely to add a further extension into the rear garden.

Application No: **HGY/2022/1836** Officer: Samuel Uff
 Decision: GTD Decision Date: 19/07/2022
 Location: 7 Cholmeley Park N6 5ET

Proposal: Non-Material Amendment application to alter the front door, insert ground floor side window and lower ground floor rear window HGY/2021/3396 for "Erection of single storey rear extension with raised terrace; amended rear landscaping, planter and fencing; erection of front bin store and 2 x cycle stands; alterations to existing front ramp; and extending low level boundary wall and pier"

Application No: **HGY/2022/2162** Officer: Tania Skelli

Decision: GTD Decision Date: 12/09/2022

Location: Guildens Courtenay Avenue N6 4LP

Proposal: Non-material amendment to planning permission ref: HGY/2019/1168 allowed on appeal (ref. APP/Y5420/W/19/3243272) on 23/12/2021 for the demolition of existing dwelling with retention of front facade and erection of replacement two-storey dwelling and associated extension to lower ground floor and the creation of a basement level; namely for the excavation of lightwell to rear, reposition external wall at basement and lower ground floor level, fenestration alterations and additions within lightwell, new balcony and green roof at 1st floor level, alterations to 2nd floor level dormer and alterations to roof.

RES Applications Decided: 9

Application No: **HGY/2021/3181** Officer: Conor Guilfoyle

Decision: NOT DET Decision Date: 15/09/2022

Location: 10A Tile Kiln Lane N6 5LG

Proposal: Details pursuant to condition 3 (materials) and condition 4 (details of tree planting) of planning permission HGY/2021/0098.

Application No: **HGY/2022/0725** Officer: Valerie Okeiyi

Decision: GTD Decision Date: 01/07/2022

Location: Former Newstead Nursing Home Denewood Road N6 4AL

Proposal: Approval of details pursuant to condition 16 (Detailed basement Design), attached to planning permission HGY/2018/3205

Application No: **HGY/2022/1073** Officer: Matthew Gunning

Decision: GTD Decision Date: 24/06/2022

Location: Jacksons Lane Community Centre 269A Archway Road N6 5AA

Proposal: Approval of details pursuant to condition 4 (Landscape) attached to planning permission HGY/2019/0462

Application No: **HGY/2022/1264** Officer: Valerie Okeiyi

Decision: GTD Decision Date: 21/06/2022

Location: Former Newstead Nursing Home Denewood Road N6 4AL

Proposal: Approval of details pursuant to condition 9 (rainfall calculations) attached to planning permission HGY/2018/3205

Application No: **HGY/2022/1265** Officer: Valerie Okeiyi

Decision: GTD Decision Date: 21/06/2022

Location: Former Newstead Nursing Home Denewood Road N6 4AL

Proposal: Approval of details pursuant to condition 10 (sustainable drainage scheme) attached to planning permission HGY/2018/3205

Application No: **HGY/2022/1328** Officer: Tania Skelli

Decision: GTD Decision Date: 30/06/2022

Location: Guildens Courtenay Avenue N6 4LP

Proposal: Approval of details pursuant to condition 10 (MCS) attached to planning permission ref. HGY/2019/1168 Allowed on appeal ref. APP/Y5420/W/19/3243272 dated 23/12/21 for the demolition of existing dwelling with retention of front facade and erection of replacement two-storey dwelling and associated extension to lower ground floor and the creation of a basement level

Application No:	HGY/2022/1496	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	31/08/2022
Location:	34 Wood Lane N6 5UB		
Proposal:	Approval of details pursuant to condition 3 (Materials) attached to planning permission HGY/2021/2010 dated 10/9/2021 for the erection of single storey rear extension, internal and external works of refurbishment to a Grade II listed property.		
Application No:	HGY/2022/1575	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	08/09/2022
Location:	32 Wood Lane N6 5UB		
Proposal:	Approval of details pursuant to condition 3 (detailed drawings or samples of materials) attached to planning permission HGY/2022/0252.		
Application No:	HGY/2022/1595	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	30/06/2022
Location:	411 Archway Road N6 4HT		
Proposal:	Approval of details pursuant to condition 4 (Green roof) and 5 (Tree protection) attached to planning permission HGY/2021/3289 dated 4/1/2022 for the demolition of existing single storey rear extension and erection of new single storey side and rear extension. Erection of new garage building to rear with new gate and height increase to existing boundary wall on Church Road. Insertion of full-height double timber gates to Archway Road elevation		

TPO Applications Decided: 2

Application No:	HGY/2022/1255	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	05/08/2022
Location:	10 Priory Gardens N6 5QS		
Proposal:	Works to trees covered by a Group TPO. G1 Rear of property, made up of large Sycamore trees, growing alongside the busy public footpath and boundary. These trees are very tall and require reducing by up to 6 meters but to form a uniform height to contain crown and root-spread and to remove any dead, dying or crossing branches, crown lift above footpath to 5 metres. Some signs of sooty bark so this will be a duty of care exercise to manage/maintain the owners' trees.		
Application No:	HGY/2022/1331	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	03/08/2022
Location:	14 Priory Gardens N6 5QS		
Proposal:	Works to tree protected by a TPO: Grey Poplar (T1): Following a climbing inspection conducted on 19/05/2022 a significant cavity was identified in a south facing limb at a height of approx.18m at the first main bifurcation of the limb. The tree is around 30m tall. The limb has an approximate diameter of 60cm at this point. The entrance to the cavity is a woodpecker hole that has decayed significantly (around 50% of the total diameter) which includes the majority of the branch collar. There is further inclusive bark located just before the union. This presents a safety concern as the potential for branch failure at this point is extremely high (see attached sketch and photos). Proposal: Reduce this limb back to the union to mitigate the risk of failure and safeguard the ongoing health of the tree, which represents an important amenity feature.		

Total Applications Decided for Ward: 33WARD: **Hornsey****CLUP Applications Decided: 2**

Application No:	HGY/2022/1305	Officer:	Oskar Gregersen
Decision:	PERM DEV	Decision Date:	21/06/2022
Location:	2 Rathcoole Avenue N8 9NA		
Proposal:	Certificate of lawfulness: Formation of dormer extension on outrigger.		

Application No: **HGY/2022/1367** Officer: Mark Chan
 Decision: PERM DEV Decision Date: 19/07/2022
 Location: 13 Elmfield Avenue N8 8QG
 Proposal: Certificate of Lawfulness for the proposed erection of a single storey rear extension.

FUL Applications Decided: 9

Application No: **HGY/2022/0473** Officer: Matthew Gunning
 Decision: GTD Decision Date: 22/09/2022
 Location: 5 Eastfield Road N8 7AD
 Proposal: Extension of existing terraced house by raising the roof to add an additional floor.

Application No: **HGY/2022/1048** Officer: Fatema Begum
 Decision: GTD Decision Date: 24/06/2022
 Location: 78 Tottenham Lane N8 7EE
 Proposal: New front bay window to lower ground floor and light well to lower ground floor.

Application No: **HGY/2022/1272** Officer: James Mead
 Decision: GTD Decision Date: 18/07/2022
 Location: Flat 2 22 Hillfield Avenue N8 7DT
 Proposal: Replacement of 8 no. windows with new timber double glazed windows to match existing. Installation of a conservation velux in the main rear roof slope.

Application No: **HGY/2022/1387** Officer: James Mead
 Decision: REF Decision Date: 21/07/2022
 Location: 55 Middle Lane N8 8PE
 Proposal: Creation of vehicular crossover in association with off street parking.

Application No: **HGY/2022/1401** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 24/08/2022
 Location: 2A Campsbourne Road N8 7PT
 Proposal: Demolition of a split two storey cab office and the construction of a two storey, 1 bedroom dwelling house

Application No: **HGY/2022/1408** Officer: Ben Coffie
 Decision: GTD Decision Date: 05/09/2022
 Location: 175 Nightingale Lane N8 7LJ
 Proposal: Erection of single storey (with basement) dwelling and ground floor rear extension to the existing dwelling, with associated boundary treatment and landscaping.

Application No: **HGY/2022/1497** Officer: Samuel Uff
 Decision: GTD Decision Date: 14/07/2022
 Location: Flat 1 51 Rosebery Gardens N8 8SH
 Proposal: Single storey rear outbuilding

Application No: **HGY/2022/1507** Officer: Mark Chan
 Decision: GTD Decision Date: 18/07/2022
 Location: 90 Rathcoole Gardens N8 9PG
 Proposal: Erection of a single storey side and rear extension.

Application No: **HGY/2022/1793** Officer: Mark Chan
 Decision: GTD Decision Date: 20/09/2022
 Location: 75 Tottenham Lane N8 9BE
 Proposal: Erection of a roof extension on top of the existing rear outrigger and replacement of a rear dormer window.

NON Applications Decided: 2

Application No: **HGY/2022/1589** Officer: Mark Chan
 Decision: GTD Decision Date: 11/07/2022
 Location: Flat A 96 North View Road N8 7LP
 Proposal: Non-material amendment to planning permission ref: HGY/2021/2562 to install a rear rooflight next to the rear dormer.

Application No: **HGY/2022/1813** Officer: Tania Skelli
 Decision: GTD Decision Date: 07/09/2022
 Location: 10 Chestnut Avenue N8 8NY
 Proposal: Non-Material Amendment following a grant of planning permission ref. HGY/2022/0224 dated 31st March 2022 for the erection of single-storey rear extension; namely to amend boundary line with no. 8 Chestnut Avenue.

PNC Applications Decided: 1

Application No: **HGY/2022/1556** Officer: Conor Guilfoyle
 Decision: PN NOT REQ Decision Date: 18/07/2022
 Location: 31 Tottenham Lane N8 9BD
 Proposal: Application to determine if prior approval is required for a proposed: Change of use from Commercial, Business and Service (Use Class E) to Dwellinghouses (Use Class C3) Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 3, Class MA

RES Applications Decided: 4

Application No: **HGY/2021/2908** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 21/09/2022
 Location: 7 Cross Lane N8 7SA
 Proposal: Approval of details pursuant to condition 25 (Condition of the Adopted Highway) attached to planning permission HGY/2020/1724

Application No: **HGY/2022/0251** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 21/06/2022
 Location: 7 Cross Lane N8 7SA
 Proposal: Approval of details pursuant to condition 3 (Materials) attached to planning permission HGY/2020/1724.

Application No: **HGY/2022/1190** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 15/08/2022
 Location: Garages Opposite The Nightingale Brook Road N8
 Proposal: Approval of details pursuant to condition 10 (parts C & D) (contamination risk management) attached to planning permission HGY/2020/0159.

Application No: **HGY/2022/2194** Officer: Tania Skelli
 Decision: GTD Decision Date: 08/09/2022
 Location: Land adjacent to Access Self Storage 15 Cranford Way N8 9DG
 Proposal: Approval of details pursuant to condition 2 (cycle storage) and 3 (generator) attached to planning permission ref: HGY/2022/0696 dated 13/05/2022 for the siting of two containers to be used as a commercial kitchens and ancillary development for a temporary period of 5-years.

Total Applications Decided for Ward: 18

WARD: **Muswell Hill**

CLUP Applications Decided: 1

Application No: **HGY/2022/1608** Officer: Emily Whittredge
 Decision: PERM DEV Decision Date: 24/06/2022
 Location: 18 Farrer Road N8 8LB
 Proposal: Loft conversion with rear dormer and front roof lights (Certificate of lawfulness)

FUL Applications Decided: 8

Application No: **HGY/2022/0014** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 27/06/2022
 Location: 28 Redston Road N8 7HJ
 Proposal: Erection of a ground floor rear extension.

Application No: **HGY/2022/1128** Officer: Mark Chan
 Decision: GTD Decision Date: 29/06/2022
 Location: Flat A 7 Grosvenor Gardens N10 3TB
 Proposal: Enlargement of existing rear extension at ground floor and lower ground floor level, relocation and alterations to rear balcony and installation of side window on ground floor level.

Application No: **HGY/2022/1258** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 12/07/2022
 Location: 27 Muswell Hill Broadway N10 3HA
 Proposal: Conversion of first floor ancillary storage unit into 2no. 2 bedroom self-contained flats

Application No: **HGY/2022/1487** Officer: Tania Skelli
 Decision: GTD Decision Date: 15/07/2022
 Location: 121 Muswell Hill Road N10 3HS
 Proposal: Retrospective application for the refurbishment of existing shopfront with replaced glazing.

Application No: **HGY/2022/1536** Officer: Laina Levassor
 Decision: GTD Decision Date: 13/07/2022
 Location: Flat B 7 Princes Avenue N10 3LS
 Proposal: Erection of single storey rear extension

Application No:	HGY/2022/1559	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	23/09/2022
Location:	9 Park Avenue North N8 7RU		
Proposal:	Proposed excavation of basement to create front lightwell; installation of AC condenser unit in lightwell; installation of stair lift platform to the front entrance; erection of front scooter storage and front garden wall.		
Application No:	HGY/2022/1582	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	19/07/2022
Location:	Ground Floor Flat 74 Muswell Hill Place N10 3RR		
Proposal:	Ground floor rear extension.		
Application No:	HGY/2022/1685	Officer:	Mark Chan
Decision:	GTD	Decision Date:	26/08/2022
Location:	60 Grand Avenue N10 3BP		
Proposal:	Erection of a rear dormer and installation of rooflights to front and back.		

LBC Applications Decided: 1

Application No:	HGY/2022/1549	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	15/07/2022
Location:	121 Muswell Hill Road N10 3HS		
Proposal:	Listed Building Consent for Retrospective application for the replacement of existing shopfront with replaced glazing, internal alterations and repair rear roof		

Total Applications Decided for Ward: 10WARD: **Noel Park****ADV Applications Decided: 4**

Application No:	HGY/2022/0598	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	12/08/2022
Location:	Pavement Outside Hollywood Green 180 High Road N22 6EJ		
Proposal:	Installation and display of 1 x LDC display screen to one side of Communication Hub		
Application No:	HGY/2022/0671	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	12/08/2022
Location:	Pavement Outside 17 The Broadway N22 6DS		
Proposal:	Installation and display of 1 x LDC display screen to one side of Communication Hub		
Application No:	HGY/2022/0673	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	11/08/2022
Location:	Pavement Outside 116 High Road N22 6HE		
Proposal:	Installation and display of 1 x LCD display screen to one side of Communication Hub		

Application No: **HGY/2022/0679** Officer: Matthew Gunning
 Decision: GTD Decision Date: 20/09/2022
 Location: Pavement Outside 137-139 High Road N22 6BA
 Proposal: Installation and display of 1 x LDC display screen to one side of Communication Hub

CLUP Applications Decided: 1

Application No: **HGY/2022/1752** Officer: Laina Levassor
 Decision: PERM DEV Decision Date: 04/08/2022
 Location: 8 Burghley Road N8 0QE
 Proposal: Certificate of Lawfulness for a proposed single storey rear extension and rear outbuilding

FUL Applications Decided: 17

Application No: **HGY/2022/0597** Officer: Matthew Gunning
 Decision: GTD Decision Date: 12/08/2022
 Location: Pavement Outside Hollywood Green 180 High Road N22 6EJ
 Proposal: Installation of an open access Communication Hub following removal of existing telephone kiosk.

Application No: **HGY/2022/0670** Officer: Matthew Gunning
 Decision: GTD Decision Date: 12/08/2022
 Location: Pavement Outside 17 The Broadway N22 6DS
 Proposal: Installation of an open access Communication Hub following removal of existing telephone kiosk

Application No: **HGY/2022/0678** Officer: Matthew Gunning
 Decision: GTD Decision Date: 20/09/2022
 Location: Pavement Outside 137-139 High Road N22 6BA
 Proposal: Installation of an open access Communication Hub

Application No: **HGY/2022/0786** Officer: Gareth Prosser
 Decision: GTD Decision Date: 05/07/2022
 Location: 62 High Road N22 6DH
 Proposal: Installation of a steel security fence and gate at the rear of the building.

Application No: **HGY/2022/0936** Officer: Mercy Oruwari
 Decision: REF Decision Date: 30/08/2022
 Location: 58 Gladstone Avenue N22 6LL
 Proposal: Retrospective planning application for replacement of timber-framed windows for UPVC framed windows.

Application No: **HGY/2022/1031** Officer: Laina Levassor
 Decision: GTD Decision Date: 01/09/2022
 Location: 92 Alexandra Road N8 0LJ
 Proposal: Erection of single storey side extension.

Application No:	HGY/2022/1156	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	14/09/2022
Location:	Ground Floor Flat 115 Westbury Avenue N22 6RY		
Proposal:	Erection of single storey side and rear extension.		
Application No:	HGY/2022/1342	Officer:	Kwaku Bossman-Gyamera
Decision:	REF	Decision Date:	20/07/2022
Location:	63 Hornsey Park Road N8 0JU		
Proposal:	Conversion of existing C3 dwellinghouse into a small scale 6 person HMO (C4 Use Class).		
Application No:	HGY/2022/1347	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	28/07/2022
Location:	83 Gladstone Avenue N22 6JY		
Proposal:	Replacement of rear facing window with bi-fold doors and side return door replaced with a window. Replacement of like for like front door and internal alterations.		
Application No:	HGY/2022/1363	Officer:	Oskar Gregersen
Decision:	REF	Decision Date:	11/07/2022
Location:	105 Willingdon Road N22 6SE		
Proposal:	Erection of detached outbuilding (part retrospective)		
Application No:	HGY/2022/1412	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	26/07/2022
Location:	4 Cobham Road N22 6RP		
Proposal:	Change the use of property from C3 (Dwelling house) to C1 (Guest house).		
Application No:	HGY/2022/1490	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	12/07/2022
Location:	87 Morley Avenue N22 6NG		
Proposal:	Retention of rear extension, front timber windows and front timber door. (Retrospective).		
Application No:	HGY/2022/1505	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	28/07/2022
Location:	10 Mannock Road N22 6AA		
Proposal:	Erection of single storey rear and side extension to a terraced house, with anthracite rear-facing doors and roof lights.		
Application No:	HGY/2022/1518	Officer:	Mercy Oruwari
Decision:	REF	Decision Date:	12/07/2022
Location:	31 Westbury Avenue N22 6BS		
Proposal:	Installation of canopy to enclose an existing sitting out area.		
Application No:	HGY/2022/1523	Officer:	Laina Levassor
Decision:	REF	Decision Date:	07/07/2022
Location:	15 Pelham Road N22 6LN		
Proposal:	Retrospective planning permission for existing rear elevation canopy/veranda		

Application No: **HGY/2022/1566** Officer: Laina Levassor
 Decision: GTD Decision Date: 12/07/2022
 Location: 12 Morley Avenue N22 6LY
 Proposal: Single storey rear extension

Application No: **HGY/2022/1594** Officer: Sarah Madondo
 Decision: GTD Decision Date: 25/07/2022
 Location: 164 Moselle Avenue N22 6EX
 Proposal: Erection of single storey rear infill extension and single storey rear extension.

LCD Applications Decided: 1

Application No: **HGY/2022/0997** Officer: Tania Skelli
 Decision: GTD Decision Date: 13/07/2022
 Location: Unit 2B Lymington Avenue N22 6JA
 Proposal: Change of use from Class E retail use to Class F2(b) to facilitate a new Youth Hub.

NON Applications Decided: 2

Application No: **HGY/2022/0453** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 23/06/2022
 Location: Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road N8
 Proposal: Non-material amendment following a grant of planning permission HGY/2019/1775 and HGY/2021/2645 to amend the wording of condition 8 (Servicing/delivery bay and associated highway/traffic management works) in relation to block D4 only

Application No: **HGY/2022/1276** Officer: Emily Whittredge
 Decision: GTD Decision Date: 30/08/2022
 Location: 14 Coombe Road N22 5LB
 Proposal: Non-Material Amendment to planning permission HGY/2021/2591 for Single story rear and side extensions in place of existing conservatory, namely to amend the fenestration.

PNE Applications Decided: 1

Application No: **HGY/2022/1252** Officer: Toby Williams
 Decision: PN NOT REQ Decision Date: 30/06/2022
 Location: 23 Parkland Road N22 6SU
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.18m and for which the height of the eaves would be 2.98m.

RES Applications Decided: 5

Application No: **HGY/2022/0286** Officer: Gareth Prosser
 Decision: GTD Decision Date: 20/06/2022
 Location: Garages Adj to 208 Farrant Avenue N22 6PG
 Proposal: Approval of details (partial) pursuant to condition 3 (ii) (materials) attached to planning permission HGY/2021/0095

Application No: **HGY/2022/0878** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 05/08/2022
 Location: Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road, N8
 Proposal: Approval of details pursuant to condition 49 (Sustainability Standards - Non-residential) attached to planning permission HGY/2019/1775 in relation to Block D4

Application No: **HGY/2022/0954** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 21/06/2022
 Location: Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road, N8
 Proposal: Approval of details pursuant to condition 24 - partial discharge - (Unsuspected contamination) of planning permission HGY/2017/3117 relating to Buildings B1, B2, B3 and B4 only

Application No: **HGY/2022/1051** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 19/08/2022
 Location: Land at the Chocolate Factory and Parma House, 5 Clarendon Road N22 6XJ
 Proposal: Approval of details pursuant to condition 19b - partial discharge (Contaminated land 1) of planning permission HGY/2017/3020 and pursuant to condition 19 (Contaminated land 1) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Blocks E1, E2 and the Chocolate Factory (Block A) only

Application No: **HGY/2022/1267** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 23/06/2022
 Location: Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road, N8
 Proposal: Approval of details (partial) pursuant to Part A of condition 51 (Secured by Design) of planning permission HGY/2017/3117 relating to blocks E1, E2 and E3 only

TEL Applications Decided: 2

Application No: **HGY/2022/1318** Officer: Kwaku Bossman-Gyamera
 Decision: PN REFUSED Decision Date: 23/06/2022
 Location: Outside 205 Westbury Avenue N22 6RX
 Proposal: Proposed telecommunications installation: Proposed 'slim line' phase 8 monopole c/w wraparound cabinet at base, 3no. additional ancillary equipment cabinets and associated ancillary works.

(Prior Approval: Development for electronic communications network application.)

Application No: **HGY/2022/1881** Officer: Kwaku Bossman-Gyamera
 Decision: PERM DEV Decision Date: 26/07/2022
 Location: Wood Green Shopping City High Road N22 6YD
 Proposal: Formal notification in writing of 28 days' notice in advance, of our intention to install electronic communications in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003. The proposed installation comprises: removal and replacement of 3no antennas with associated ancillary works thereto.

Total Applications Decided for Ward: 33

WARD: **Northumberland Park**

ADV Applications Decided: 3

Application No: **HGY/2021/1854** Officer: James Mead
 Decision: REF Decision Date: 13/09/2022
 Location: Outside 777-781 High Road N17 8AH
 Proposal: Two digital 75 inch LCD display screens, one on each side of the amended InLink unit.

Application No: **HGY/2021/1856** Officer: James Mead
 Decision: REF Decision Date: 23/09/2022
 Location: Outside 639 High Road N17 8AA
 Proposal: Two digital 75 inch LCD display screens, one on each side of the amended InLink unit.

Application No: **HGY/2022/0168** Officer: Martin Cowie
 Decision: GTD Decision Date: 22/07/2022
 Location: Land south-east of THFC Stadium North of Park Lane and West of Worcester Avenue N17
 Proposal: Application for retrospective Advertisement Consent for hoarding signage facing Worcester Avenue and Park Lane

CLDE Applications Decided: 3

Application No: **HGY/2022/1094** Officer: Sarah Madondo
 Decision: GTD Decision Date: 04/07/2022
 Location: 24 Sutherland Road N17 0BN
 Proposal: Certificate of lawfulness for the use property HMO (C3) for 4 person.

Application No: **HGY/2022/1213** Officer: Matthew Gunning
 Decision: GTD Decision Date: 15/09/2022
 Location: 13 Worcester Avenue N17 0TU
 Proposal: Use of property as two self-contained flats (Certificate of Lawfulness: existing use).

Application No: **HGY/2022/1655** Officer: Laina Levassor
 Decision: REF Decision Date: 11/07/2022
 Location: 15 Pretoria Road N17 8DX
 Proposal: Certificate of Lawfulness for the existing use of the ground floor of the building as two separate self-contained residential units.

CLUP Applications Decided: 2

Application No: **HGY/2022/1643** Officer: Oskar Gregersen
 Decision: PERM DEV Decision Date: 20/07/2022
 Location: 16 St Pauls Road N17 0NJ
 Proposal: Certificate of lawfulness for the proposed change of use of the property from use class C3 (a) to class C3 (c).

Application No: **HGY/2022/1691** Officer: Laina Levassor
 Decision: PERM DEV Decision Date: 04/08/2022
 Location: 28 Nursery Street N17 8AP
 Proposal: Certificate of Lawfulness for proposed rear dormer and outrigger extensions.

FUL Applications Decided: 15

Application No: **HGY/2021/1860** Officer: James Mead
 Decision: REF Decision Date: 13/09/2022
 Location: Outside 777-781 High Road N17 8AH
 Proposal: Removal of existing BT phone box and installation of a proposed replacement BT street hub and associated display of advertisement to both sides of the unit.

Application No:	HGY/2021/1861	Officer:	James Mead
Decision:	REF	Decision Date:	23/09/2022
Location:	Outside 639 High Road N17 8AA		
Proposal:	Removal of existing BT phone box and installation of a proposed replacement BT street hub and associated display of advertisement to both sides of the unit.		
Application No:	HGY/2021/2209	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	21/09/2022
Location:	818A High Road N17 0EY		
Proposal:	Conversion of the rear ground floor into a studio flat (retrospective application).		
Application No:	HGY/2021/2248	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	14/09/2022
Location:	27-31 Garman Road N17 0UP		
Proposal:	Erection of two replacement B1/B2/B8 units following fire damage and demolition of the original units (Amended drawings)		
Application No:	HGY/2022/0167	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	22/07/2022
Location:	Land south-east of THFC Stadium North of Park Lane and West of Worcester Avenue N17		
Proposal:	Retrospective application for temporary use of land known as the 'N17 Arena' for a period of up to 3 years for community events, sports and activation space including football pitches, lighting and hoarding		
Application No:	HGY/2022/0335	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	07/07/2022
Location:	Car Dealership 72 White Hart Lane N17 8HP		
Proposal:	Erection two-storey extension.		
Application No:	HGY/2022/0503	Officer:	Gareth Prosser
Decision:	NOT DET	Decision Date:	08/08/2022
Location:	43 Chalgrove Road N17 0NS		
Proposal:	Erection of Mansard Loft Conversion.		
Application No:	HGY/2022/0806	Officer:	Valerie Okeiyi
Decision:	REF	Decision Date:	04/08/2022
Location:	18 Ruskin Road N17 8ND		
Proposal:	Erection of a two storey, dwellinghouse at the rear of 18 Ruskin Road.		
Application No:	HGY/2022/0970	Officer:	Mercy Oruwari
Decision:	REF	Decision Date:	18/08/2022
Location:	Shop 787 High Road N17 8AH		
Proposal:	Retrospective application for installation of replacement shopfront.		
Application No:	HGY/2022/1429	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	17/08/2022
Location:	Land and Buildings Beneath White Hart Lane Railway Station Love Lane N17 8HG		
Proposal:	Change of use of vacant former railway arches flexible commercial/retail Class E uses with associated shopfront changes and partial demolition and rebuild		

Application No:	HGY/2022/1468	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	19/07/2022
Location:	113 Pembury Road N17 8LY		
Proposal:	Conversion of existing house into three self-contained dwellings and including erection of rear extension.		
Application No:	HGY/2022/1567	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	21/07/2022
Location:	28 Nursery Street N17 8AP		
Proposal:	Replacement of existing single storey side and rear extension with single storey rear and side extension		
Application No:	HGY/2022/1600	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	10/08/2022
Location:	30 Willoughby Park Road N17 0RA		
Proposal:	Vehicle Crossover over public footway		
Application No:	HGY/2022/1764	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	17/08/2022
Location:	7 Cedar Road N17 8NB		
Proposal:	Enlargement of existing single storey rear and loft extension to an existing HMO (Use Class C4) and change of use to a HMO (sui generis) providing accommodation for 8 persons.		
Application No:	HGY/2022/1827	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	15/08/2022
Location:	211 Lansdowne Road N17 0NU		
Proposal:	Demolition of existing rear extension and erection of a single storey rear extension, and alterations to the rear patio.		

LCD Applications Decided: 1

Application No:	HGY/2022/1088	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	08/07/2022
Location:	Community Centre The Irish Centre Pretoria Road N17 8EB		
Proposal:	Installation of new air handling plant to serve a ground floor refurbishment of The Irish Centre		

RES Applications Decided: 3

Application No:	HGY/2022/1266	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	22/06/2022
Location:	2 Kings Road N17 8NP		
Proposal:	Approval of details pursuant to conditions 3 (precautions to secure and protect the interior and exterior features) and 5 (supervising professional specialising in conservation work) attached to listed building consent HGY/2020/2198		
Application No:	HGY/2022/1343	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	13/07/2022
Location:	Land On The West Side Of 2 Kings Road N17 8NP		
Proposal:	Approval of details pursuant to condition 4 (Method of Construction); condition 5 (Details of all enclosures around the site boundary); condition 6 (Secure and covered cycle parking facilities); condition 7 (Provision of refuse and waste storage); condition 9 (Landscaping) and condition 10 (Details of screening) attached to planning permission ref: HGY/2021/3038.		

Application No: **HGY/2022/1664** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 01/08/2022
 Location: Land On The West Side Of 2 Kings Road N17 8NP
 Proposal: Approval of details reserved by a condition 3 (a), (b), (c), (d), (e), (f), (g), (h), (i), (j) attached planning permission ref: HGY/2021/3038

Total Applications Decided for Ward: 27

WARD: St Anns

CLDE Applications Decided: 1

Application No: **HGY/2022/1301** Officer: Oskar Gregersen
 Decision: GTD Decision Date: 04/07/2022
 Location: 6 Etherley Road N15 3AJ
 Proposal: Certificate of lawfulness: existing use for ground floor as two self-contained flats.

CLUP Applications Decided: 3

Application No: **HGY/2022/1303** Officer: Oskar Gregersen
 Decision: PERM DEV Decision Date: 21/06/2022
 Location: 5 Doncaster Gardens N4 1HX
 Proposal: Certificate of lawfulness: Removal of small part of rear of outrigger and installation of patio doors.

Application No: **HGY/2022/1372** Officer: Martin Cowie
 Decision: PERM DEV Decision Date: 24/06/2022
 Location: 316 St Anns Road N15 3TD
 Proposal: Dormer roof extension over main roof slope to rear and outrigger and installation of 2 rooflights on front roof slope (Certificate of Lawfulness: proposed use)

Application No: **HGY/2022/1848** Officer: Mercy Oruwari
 Decision: PERM DEV Decision Date: 03/08/2022
 Location: 27 Hallam Road N15 3RE
 Proposal: Certificate of lawfulness for the erection of a rear dormer and the insertion of 2x front rooflights - proposed use.

FUL Applications Decided: 8

Application No: **HGY/2019/2485** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 08/07/2022
 Location: 261-263 West Green Road N15 3BH
 Proposal: Front extension to existing restaurant. Part two-storey rear extension over ground floor flat roof and mansard roof extension of existing building to create 5 new flats, in conjunction with associated internal alterations to the existing ground floor restaurant to provide waste storage area. (Revised Scheme).

Application No: **HGY/2019/2601** Officer: Sarah Madondo
 Decision: GTD Decision Date: 31/08/2022
 Location: 434 St Anns Road N15 3JH
 Proposal: Alteration, extension and conversion of existing building to provide a 43.7sqm commercial retail unit on the ground floor (Use Class A1) and 6 no. residential apartments (Use Class C3).

Application No: **HGY/2020/2028** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 31/08/2022
 Location: 13-16 Grand Parade N4 1LA
 Proposal: Reconfiguration of the existing 7 flats on the building's upper floors, together with rear extensions to the first and second floors and roof extension including a rear dormer window to create 9 self-contained flats (1 x studio unit, 2 x 1-bedroom units, 4 x 2-bedroom units and 2 x 3-bedroom units). Alterations to external elevations. Extension to ground floor commercial retail unit with alterations to the Salisbury Road elevation including a new shopfront. Erection of a 3-storey building to create 2 x 2-bedroom flats and ancillary facilities. Amendments to rear service area on Salisbury Road to retain existing delivery area and new cycle and refuse facilities.

This application is a revision of planning permission HGY/2018/1498.

Application No: **HGY/2022/0735** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 28/07/2022
 Location: 97 Roseberry Gardens N4 1JH
 Proposal: Erection of a rear dormer and roof extension including the insertion of 2x front, 1x rear rooflights. 1x roof/rear dormer window and 1x side elevation obscured glazed window. Erection of single storey infill extension

Application No: **HGY/2022/1064** Officer: Laina Levassor
 Decision: GTD Decision Date: 22/06/2022
 Location: 390 St Anns Road N15 3ST
 Proposal: Retrospective application for retention of single storey rear extension which varies from original permission (HGY/2019/2683)

Application No: **HGY/2022/1488** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 19/07/2022
 Location: Shop 297-299 West Green Road N15 3PA
 Proposal: Conversion and change of use of the existing two 3-bedroom flats (C3 use) on the first and second floors of the property to one large scale eight bedroom HMO (sui-generis use).

Application No: **HGY/2022/1500** Officer: Zara Seelig
 Decision: GTD Decision Date: 11/07/2022
 Location: 15 Conway Road N15 3BB
 Proposal: Erection of rear and side extension on ground floor of a terrace house

Application No: **HGY/2022/1648** Officer: Oskar Gregersen
 Decision: GTD Decision Date: 01/08/2022
 Location: 11 Cranleigh Road N15 3AB
 Proposal: Replacement of existing rear extension and construction of a side infill conservatory to the ground floor.

RES Applications Decided: 2

Application No: **HGY/2022/0842** Officer: Oskar Gregersen
 Decision: GTD Decision Date: 12/07/2022
 Location: Land adjacent to 38-84 Cornwall Road N15 5AR
 Proposal: Approval of details pursuant to condition 11a (details of the proposed ventilation and heating systems and solar PV) attached to planning permission ref: HGY/2021/0967

Application No: **HGY/2022/0848** Officer: Oskar Gregersen
 Decision: GTD Decision Date: 12/07/2022
 Location: Land adjacent to 38-84 Cornwall Road N15 5AR
 Proposal: Approval of details reserved by condition: Discharge of condition 13 'Living roof plan' attached to application HGY/2021/0967

Total Applications Decided for Ward: 14

WARD: Seven Sisters

CLDE Applications Decided: 1

Application No: **HGY/2022/0110** Officer: Sarah Madondo
 Decision: GTD Decision Date: 30/06/2022
 Location: 158 Hermitage Road N4 1NL
 Proposal: Certificate of lawfulness for the use of 2 self-contained flats

CLUP Applications Decided: 1

Application No: **HGY/2022/1369** Officer: Mark Chan
 Decision: PERM DEV Decision Date: 05/08/2022
 Location: 12 Surrey Gardens N4 1UD
 Proposal: Certificate of Lawfulness for the proposed installation of a rear dormer roof extension and 2 rooflights on front roof slope.

FUL Applications Decided: 20

Application No: **HGY/2021/2891** Officer: Neil McClellan
 Decision: GTD Decision Date: 24/06/2022
 Location: Overbury Yard, Land to rear of 2 Overbury Road N15 6RH
 Proposal: Erection of 16 stacked shipping containers (to 2 storeys) to provide workspaces/artist studios' (Use Class E), ancillary kitchen and WC facilities, waste collection facilities, disabled parking, cycle parking and public realm enhancements, including creation of rain gardens, new seating spaces, tree planting and greening and art works.

Application No: **HGY/2022/0054** Officer: Sarah Madondo
 Decision: GTD Decision Date: 21/09/2022
 Location: 25 Craven Park Road N15 6AA
 Proposal: Excavation of new basement level

Application No: **HGY/2022/0201** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 27/07/2022
 Location: 49 St Anns Road N15 6NJ
 Proposal: Erection of a rear dormer and roof extension including the insertion of 2x front rooflights

Application No: **HGY/2022/0211** Officer: Christopher Smith
 Decision: GTD Decision Date: 22/08/2022
 Location: Unit M Arena Business Centre 71 Ashfield Road N4 1FF

Proposal:	Refurbishment of an existing building, including provision of a replacement composite corrugated roof; insertion of new roof lights; increasing the height of all external walls by 1,000mm to enable the creation of a new internal mezzanine floor level; the remodelling of the existing facade including the insertion of new and the blocking up of existing window and door openings; introduction of a green roof and air source pump, plus enclosure and introduction of new steel balustrade around external garden terrace.		
Application No:	HGY/2022/0345	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	21/07/2022
Location:	74 Crowland Road N15 6UU		
Proposal:	Erection of type 3 extension as approved in application HGY/2021/2464, enlargement of approved ground floor and first floor extensions and works to create a basement/ light-well.		
Application No:	HGY/2022/0737	Officer:	Mercy Oruwari
Decision:	REF	Decision Date:	29/06/2022
Location:	21 Wellington Avenue N15 6AS		
Proposal:	Retrospective planning for the erection of a first floor extension.		
Application No:	HGY/2022/0903	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	22/06/2022
Location:	12 Lealand Road N15 6JS		
Proposal:	Erection of additional storey 'Type 2' roof extension		
Application No:	HGY/2022/0995	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	23/08/2022
Location:	1B Vale Road N4 1QA		
Proposal:	Erection of one-bedroom detached residential accommodation, including half-basement, erection of boundary treatment (following demolition of existing dwelling and some boundary treatment), and reconfiguration of site.		
Application No:	HGY/2022/1029	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	13/07/2022
Location:	162 Gladesmore Road N15 6TH		
Proposal:	Erection of first floor rear extension		
Application No:	HGY/2022/1086	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	22/08/2022
Location:	6 Vartry Road N15 6PT		
Proposal:	Conversion of existing Dwellinghouse into 3no Flats with Mansard Roof extension		
Application No:	HGY/2022/1288	Officer:	James Mead
Decision:	GTD	Decision Date:	19/07/2022
Location:	40 Beechfield Road N4 1PE		
Proposal:	Erection of single storey rear and side extensions.		
Application No:	HGY/2022/1292	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	22/06/2022
Location:	First Floor Flat 24A Hermitage Road N4 1LY		
Proposal:	Loft conversion with rear dormers		

Application No:	HGY/2022/1299	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	20/07/2022
Location:	159-161 Wargrave Avenue N15 6TX		
Proposal:	Erection of a part single, part two-storey rear extension to 159 and 161 Wargrave Ave		
Application No:	HGY/2022/1346	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	19/07/2022
Location:	11 Barry Avenue N15 6AD		
Proposal:	Replacement of existing single storey rear extension and erection of a type 3 roof extension.		
Application No:	HGY/2022/1396	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	23/06/2022
Location:	8 Grovelands Road N15 6BU		
Proposal:	Erection of a Type 3 roof extension		
Application No:	HGY/2022/1485	Officer:	Kwaku Bossman-Gyamera
Decision:	REF	Decision Date:	15/07/2022
Location:	18-20 Rostrevor Avenue N15 6LR		
Proposal:	Joint First floor Rear Extension		
Application No:	HGY/2022/1528	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	27/07/2022
Location:	266 Tiverton Road N15 6RT		
Proposal:	Change of use from a former GP surgery (Class E Use) to an office for a private hire car/mini-cab company (sui-generis use).		
Application No:	HGY/2022/1683	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	04/08/2022
Location:	12-16 Clifton Gardens N15 6AP		
Proposal:	Extension to existing ground floor extension at No.12; first-floor rear extensions at No's 12-16; and Type 3 roof extensions at No.12.		
Application No:	HGY/2022/1745	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	08/09/2022
Location:	79 Gladesmore Road N15 6TL		
Proposal:	Erection of single storey rear extension		
Application No:	HGY/2022/1960	Officer:	Kwaku Bossman-Gyamera
Decision:	REF	Decision Date:	31/08/2022
Location:	First Floor Flat B 97 Crowland Road N15 6UR		
Proposal:	Roof terrace to provide private amenity space to first floor flat		

Application No:	HGY/2022/1244	Officer:	Toby Williams
Decision:	PN NOT REQ	Decision Date:	27/06/2022
Location:	63 Elm Park Avenue N15 6UN		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.5m and for which the height of the eaves would be 3m		
Application No:	HGY/2022/1319	Officer:	Oskar Gregersen
Decision:	PN NOT REQ	Decision Date:	06/07/2022
Location:	147 Gladesmore Road N15 6TJ		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.25m and for which the height of the eaves would be 2.6m.		

RES Applications Decided: 3

Application No:	HGY/2022/1296	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	21/06/2022
Location:	10 Franklin Street N15 6QH		
Proposal:	Approval of details reserved by a condition 4 (CMP) attached to planning permission HGY/2021/3232		
Application No:	HGY/2022/1298	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	04/07/2022
Location:	1A Eade Road N4 1DJ		
Proposal:	Approval of details reserved by a condition 5 (Landscaping) attached to planning permission HGY/2019/0099		
Application No:	HGY/2022/1904	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	30/08/2022
Location:	Land adjacent to 1 Lealand Road N15 6JS		
Proposal:	Approval of details reserved by a condition 9 (External Lighting) attached to planning reference HGY/2020/2393.		

Total Applications Decided for Ward: 27WARD: **Stroud Green****CLDE Applications Decided: 2**

Application No:	HGY/2022/2107	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	17/08/2022
Location:	3 Oxford Road N4 3HA		
Proposal:	Certificate of Lawfulness for existing use of property as three self-contained flats.		
Application No:	HGY/2022/2108	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	17/08/2022
Location:	5 Oxford Road N4 3HA		
Proposal:	Certificate of Lawfulness for existing use of property as three self-contained flats.		

CLUP Applications Decided: 1

Application No: **HGY/2022/0913** Officer: Anestis Skoupras
 Decision: PERM DEV Decision Date: 18/07/2022
 Location: 23 Uplands Road N8 9NN
 Proposal: Certificate of lawfulness for the proposed erection of an extension to the existing dormer on the roof of the property's two-storey rear outrigger.

FUL Applications Decided: 11

Application No: **HGY/2022/0828** Officer: Tania Skelli
 Decision: GTD Decision Date: 21/07/2022
 Location: 67 Victoria Road N4 3SN
 Proposal: Demolition of an existing garage and erection of new dwelling.

Application No: **HGY/2022/1291** Officer: Sarah Madondo
 Decision: GTD Decision Date: 08/07/2022
 Location: 92A Stapleton Hall Road N4 4QA
 Proposal: Replacing rear flat roof with a hip roof, installing solar panels on the West and South facing roof, installing triple glazed, timber framed windows to front, installation of air-source-heat pump to be located in front of house with timber cover and addition of a draft excluding porch to front, north facing elevation, replacing rear first floor sash windows with Juliet balconies, removal of a pier at the threshold to pavement and inclusion of a linear drain in driveway.

Application No: **HGY/2022/1345** Officer: Mercy Oruwari
 Decision: REF Decision Date: 22/06/2022
 Location: 96 Ridge Road N8 9NR
 Proposal: Replacement of existing conservatory with a single storey full width rear extension, first floor roof terrace, staircase to the garden and installation of bi-fold doors. Creation of off street parking and alterations to front bay window and door including installation of new window. Extension of existing basement under new ground floor extension and patio.

Application No: **HGY/2022/1349** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 19/07/2022
 Location: 96 Weston Park N8 9PP
 Proposal: Retrospective application for use of upper floors as a self-contained flat and change of access from rear of ground floor retail unit to front.

Application No: **HGY/2022/1377** Officer: James Mead
 Decision: GTD Decision Date: 29/06/2022
 Location: 42 Upper Tollington Park N4 4BX
 Proposal: Replace single glazed timber windows with new slimline double glazed timber windows. Replace door on rear elevation.

Application No: **HGY/2022/1386** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 28/07/2022
 Location: 30 Upper Tollington Park N4 3EL
 Proposal: Formation of rear dormer roof extension and insertion of front roof lights

Application No: **HGY/2022/1431** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 02/08/2022
 Location: First Floor Left Flat C 12 Ferme Park Road N4 4ED
 Proposal: Installation of front roof lights.

Application No:	HGY/2022/1489	Officer:	Mark Chan
Decision:	GTD	Decision Date:	22/07/2022
Location:	96 Mount View Road N4 4JX		
Proposal:	Demolition of existing rear extension and erection of a part ground floor, part two-storey rear extension. Alterations and replacement of rear windows, enlargement of an rear dormer, and installation of front rooflight.		
Application No:	HGY/2022/1588	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	16/08/2022
Location:	69 Inderwick Road N8 9LA		
Proposal:	Erection of a 6m single storey rear extension to replace existing kitchen and dining room, with an addition al 1.89m of depth.		
Application No:	HGY/2022/1665	Officer:	Kwaku Bossman-Gyamera
Decision:	REF	Decision Date:	01/08/2022
Location:	97 Stapleton Hall Road N4 4RH		
Proposal:	Excavation of basement to form one bed (2 person) dwelling.		
Application No:	HGY/2022/1742	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	02/08/2022
Location:	Flat 3 80 Oakfield Road N4 4LB		
Proposal:	Replacement of windows, matching existing. Formation of 4 window openings at flank elevation, to match existing. Renewal of flat roof finish. Replacement of existing roof tiles to match existing at No.82. Replacement of existing metal balustrade roof terrace guardings to match existing at No.82. Replacement of existing roof access hatch with rooflight. Installation of 2 rooflights.		

Total Applications Decided for Ward: 14

WARD: Tottenham Green

ADV Applications Decided: 1

Application No:	HGY/2021/1857	Officer:	James Mead
Decision:	REF	Decision Date:	23/09/2022
Location:	Outside Seven Sisters Market Hall High Road N15 5BT		
Proposal:	Two digital 75 inch LCD display screens one on each side of the amended InLink unit.		

CLUP Applications Decided: 1

Application No:	HGY/2022/1517	Officer:	Mercy Oruwari
Decision:	PERM DEV	Decision Date:	06/07/2022
Location:	14 Westerfield Road N15 5LD		
Proposal:	Certificate of lawfulness for erection of a rear dormer and roof extension including 3x front and 2x rear rooflights - proposed use		

FUL Applications Decided: 8

Application No:	HGY/2021/1862	Officer:	James Mead
Decision:	REF	Decision Date:	23/09/2022
Location:	Outside Seven Sisters Market Hall High Road N15 5BT		
Proposal:	Removal of existing BT phone box and installation of a proposed replacement BT street hub and associated display of advertisement to both sides of the unit.		

Application No:	HGY/2021/3056	Officer:	Christopher Smith
Decision:	GTD	Decision Date:	23/06/2022
Location:	Unit 10 High Cross Centre Fountayne Road N15 4QL		
Proposal:	Temporary change of use of 1,216sqm of Use Class B2/B8 floorspace at ground floor to flexible event/exhibition space (sui generis), creation of a new rooftop cafe/bar (sui generis) including installation of landscaping, associated structures and a glazed safety screen, extension of existing lift cores to provide access to the roof, re-landscaping of the ground floor forecourt and provision of additional cycle parking.		
Application No:	HGY/2022/1225	Officer:	Emily Whittredge
Decision:	GTD	Decision Date:	30/08/2022
Location:	22 Elmar Road N15 5DJ		
Proposal:	Single storey rear extension.		
Application No:	HGY/2022/1248	Officer:	Valerie Okeiyi
Decision:	REF	Decision Date:	12/08/2022
Location:	Flat 2 26 Jansons Road N15 4JU		
Proposal:	First Floor Side Extension with a flat roof		
Application No:	HGY/2022/1352	Officer:	Mark Chan
Decision:	GTD	Decision Date:	07/07/2022
Location:	47 Beaconsfield Road N15 4SH		
Proposal:	Replacement of existing rear extension with a wraparound extension and rear dormer including 2x front rooflights and rear Juliet balcony.		
Application No:	HGY/2022/1435	Officer:	Kwaku Bossman-Gyamera
Decision:	REF	Decision Date:	06/07/2022
Location:	210 West Green Road N15 5AN		
Proposal:	Change of use from C3 (Dwelling House) to C4 (House of Multiple Occupation), (Retrospective).		
Application No:	HGY/2022/1516	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	05/07/2022
Location:	14 Westerfield Road N15 5LD		
Proposal:	Removal of existing rear extension, erection of single storey infill extension and internal alterations.		
Application No:	HGY/2022/1795	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	06/09/2022
Location:	Holly Court Anchor Drive N15 5DB		
Proposal:	Replace the existing white timber glazed window entrance with white powder coated aluminium windows.		
NON Applications Decided: 1			
Application No:	HGY/2022/1548	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	23/06/2022
Location:	Redlands Summerhill Road N15 4HE		
Proposal:	Non-Material Amendment for the variation of Condition 17 (Provision of sheltered cycle parking spaces) attached to planning consent ref: HGY/2020/1779		

Application No: **HGY/2022/1379** Officer: Valerie Okeiyi
 Decision: PN GRANT Decision Date: 03/08/2022
 Location: 1-36 and 15A Brunel Walk N15 5HQ
 Proposal: Prior Approval for the demolition of buildings under Part 11, Class B, Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015 (as Amended).

RES Applications Decided: 12

Application No: **HGY/2022/0213** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 06/07/2022
 Location: Stainby Road Car Park adj 6 Stainby Road N15 4FJ
 Proposal: Approval of details pursuant to condition 3 (Materials) attached to planning permission HGY/2021/0087.

Application No: **HGY/2022/0560** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 27/06/2022
 Location: Redlands Summerhill Road N15 4HE
 Proposal: Approval of details pursuant to condition 11 (Contractor's Method Statement) attached to planning consent ref: HGY/2020/1779

Application No: **HGY/2022/0619** Officer: Christopher Smith
 Decision: GTD Decision Date: 24/06/2022
 Location: Bernard Works Bernard Road N15 4NX
 Proposal: Approval of details pursuant to condition 11 (Construction Management Plan and Construction Logistics Plan) attached to planning permission HGY/2017/3584.

Application No: **HGY/2022/0624** Officer: Christopher Smith
 Decision: GTD Decision Date: 05/07/2022
 Location: Bernard Works Bernard Road N15 4NX
 Proposal: Approval of details pursuant to condition 20 (Site Environmental Management Plan) attached to planning permission HGY/2017/3584.

Application No: **HGY/2022/0774** Officer: Christopher Smith
 Decision: GTD Decision Date: 05/07/2022
 Location: Bernard Works Bernard Road N15 4NX
 Proposal: Approval of details pursuant to condition 26 (attenuation infrastructure in relation to greenfield run off rates) attached to planning permission HGY/2017/3584

Application No: **HGY/2022/0775** Officer: Christopher Smith
 Decision: GTD Decision Date: 05/07/2022
 Location: Bernard Works Bernard Road N15 4NX
 Proposal: Approval of details pursuant to condition 27 (sustainable drainage scheme) attached to planning permission HGY/2017/3584.

Application No: **HGY/2022/1012** Officer: Sarah Madondo
 Decision: GTD Decision Date: 21/06/2022
 Location: Redlands Summerhill Road N15 4HE
 Proposal: Approval of details reserved by a condition 6 (Living Roofs) attached to planning reference HGY/2020/1779

Application No:	HGY/2022/1280	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	09/08/2022
Location:	Sterling House 67 Lawrence Road N15 4EY		
Proposal:	Approval of details pursuant to condition 3 (Material) attached to planning permission HGY/2018/3655 and pursuant to condition 3 (materials) of the second S96a Planning Permission reference HGY/2020/2361.		
Application No:	HGY/2022/1287	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	18/08/2022
Location:	27 Colless Road N15 4NR		
Proposal:	Approval of details pursuant to condition 2 (Secure cycle parking facilities) and Condition 3 (Provision of refuse and waste storage/ recycling facilities) attached to planning permission ref: HGY/2022/0183		
Application No:	HGY/2022/1330	Officer:	Christopher Smith
Decision:	GTD	Decision Date:	01/07/2022
Location:	Bernard Works Bernard Road N15 4NX		
Proposal:	Approval of details pursuant to condition 25 (impact studies of the existing water supply infrastructure - partial discharge for 70 properties only) attached to planning permission HGY/2017/3584.		
Application No:	HGY/2022/2029	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	05/09/2022
Location:	Stainby Road Car Park adj 6 Stainby Road N15 4FJ		
Proposal:	Approval of details reserved by a condition 8 (Secured by Design Accreditation) attached planning permission ref: HGY/2021/0087.		
Application No:	HGY/2022/2030	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	05/09/2022
Location:	Stainby Road Car Park adj 6 Stainby Road N15 4FJ		
Proposal:	Approval of details reserved by a condition 11 (Building Regulations Part M4 (2) attached planning permission HGY/2021/0087.		

Total Applications Decided for Ward: 24

WARD: Tottenham Hale

ADV Applications Decided: 1

Application No:	HGY/2021/1858	Officer:	James Mead
Decision:	REF	Decision Date:	23/09/2022
Location:	Outside 470-472 High Road N17 9JX		
Proposal:	Two digital 75 inch LCD display screens, one on each side of the amended InLink unit.		

CLFA Applications Decided: 1

Application No:	HGY/2022/1612	Officer:	Martin Cowie
Decision:	PERM DEV	Decision Date:	28/06/2022

Location: Public Highway between the corner of Ashley Road and Burdock Road and the mouth of Station Road N17

Proposal: Certificate of Lawfulness for the following works - The works are to install approximately 300 metres of district heating pipeline and associated communications ductwork within Ashley Road. This will comprise digging a trench approximately 1.5m wide by 2m deep and laying 2 pipelines and 3 communications ducts. The pipes are preinsulated steel. Each pipe will have a nominal diameter of 250mm encased in 100mm of insulation to make overall diameter of c.450mm. Branches will be installed from the pipeline to connect to pipes installed in neighbouring buildings. Several valves will also be installed with valve chambers accessible from manholes. The communications ducts comprise 3 x nominal 100mm plastic ducts with draw pits at key intervals to allow fibre optic cables to be installed at a later date.

CLUP Applications Decided: 2

Application No: **HGY/2022/1302** Officer: Oskar Gregersen

Decision: PERM DEV Decision Date: 21/06/2022

Location: 10 Parkhurst Road N17 9RA

Proposal: Certificate of lawfulness: Formation of dormers on main roof and outrigger

Application No: **HGY/2022/1535** Officer: Laina Levassor

Decision: PERM DEV Decision Date: 11/07/2022

Location: 223 Shelbourne Road N17 9YD

Proposal: Certificate of Lawfulness for proposed rear dormer extension.

FUL Applications Decided: 10

Application No: **HGY/2021/1863** Officer: James Mead

Decision: REF Decision Date: 23/09/2022

Location: Outside 470-472 High Road N17 9JX

Proposal: Removal of existing BT phone boxes and installation of a proposed replacement BT street hub and associated display of advertisement to both sides of the unit.

Application No: **HGY/2022/1035** Officer: Mark Chan

Decision: GTD Decision Date: 20/06/2022

Location: 41 Spencer Road N17 9UU

Proposal: Demolition of existing rear extension and erection of a single storey rear extension and a front porch and loft conversion including the erection of a rear roof dormer and front rooflight.

Application No: **HGY/2022/1110** Officer: Sarah Madondo

Decision: REF Decision Date: 23/08/2022

Location: 27 Carew Road N17 9BA

Proposal: Part Two Storey side and Rear Extension & Conversion of Garage to habitable Room

Application No: **HGY/2022/1175** Officer: Samuel Uff

Decision: GTD Decision Date: 27/06/2022

Location: 30 Tilson Road N17 9UY

Proposal: Erection of single storey rear extension

Application No: **HGY/2022/1217** Officer: Martin Cowie

Decision: GTD Decision Date: 05/07/2022

Location: Strategic Development Partnership (SDP) Sites Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West, Station Road, N17
 Proposal: Temporary use (two years) of a commercial unit at Plot D - Ashley Road West site (approved use classes A1-A4, B1(a)) as a flexible space for residential sales, marketing and meeting purposes (Sui Generis use) and associated facilities, as part of the of the Tottenham Hale Centre planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019.

Application No: **HGY/2022/1259** Officer: Emily Whittredge
 Decision: GTD Decision Date: 20/07/2022

Location: 30 Kimberley Road N17 9BD
 Proposal: Proposed Loft conversion to existing first floor flat

Application No: **HGY/2022/1398** Officer: Gareth Prosser
 Decision: GTD Decision Date: 30/06/2022

Location: 56 Holcombe Road N17 9AR
 Proposal: Demolition of existing rear wall and roof. Extension to the rear of the house including patio area. Existing garage to be removed with new garage to be built.

Application No: **HGY/2022/1565** Officer: Laina Levassor
 Decision: GTD Decision Date: 21/07/2022

Location: 84 Scotland Green N17 9TU
 Proposal: Erection of single storey side extension.

Application No: **HGY/2022/1695** Officer: Gareth Prosser
 Decision: GTD Decision Date: 11/08/2022

Location: Tottenham Police Station 398 High Road N17 9JA
 Proposal: Removal of existing stairs leading to the main entrance and replacement with an accessible ramp and stairs, along with the addition of air grilles to the rear of the building.

Application No: **HGY/2022/1859** Officer: Kwaku Bossman-Gyamera
 Decision: REF Decision Date: 11/08/2022

Location: 19 Malvern Road N17 9HH
 Proposal: Amendments to previously approved new dwelling to the rear of 19 Malvern Road (retrospective application).

PNC Applications Decided: 2

Application No: **HGY/2022/1486** Officer: Kwaku Bossman-Gyamera
 Decision: PN NOT REQ Decision Date: 18/07/2022

Location: Lois Court 5 Shelbourne Road N17 0JZ
 Proposal: Application under the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 20, Class A to determine if prior approval is required for the proposed construction of one additional storey on top of existing block to create two new self-contained flats.

Application No: **HGY/2022/1721** Officer: Neil McClellan
 Decision: PN GRANT Decision Date: 19/08/2022

Location: 182 Shelbourne Road N17 9YA
 Proposal: Prior Approval Application for two new dwellings arranged in one additional storey on top of an existing detached block of flats, in accordance with Schedule 2, Part 20, Class A of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).

RES Applications Decided: 8

Application No:	HGY/2020/0887	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	07/07/2022
Location:	Strategic Development Partnership (SDP) Sites Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West Station Road N15		
Proposal:	Approval of details pursuant to Condition E9 (Boiler Details) in relation to the residential element of Plot E (Ashley Road East site) of the Tottenham Hale Centre development Planning Permission (LPA ref: HGY/2018/2223) dated 27th March 2019		
Application No:	HGY/2020/2050	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	22/07/2022
Location:	Strategic Development Partnership (SDP) Sites Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West Station Road N17		
Proposal:	Approval of details pursuant to Condition D9 (boiler details) relating to Plot D (Ashley Road West site) of the Tottenham Hale Centre development Planning Permission (LPA ref. HGY/2018/2223) dated 27th March 2019.		
Application No:	HGY/2022/0187	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	13/07/2022
Location:	Strategic Development Partnership (SDP) Sites Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West Station Road N17		
Proposal:	Application for the approval of details pursuant to Condition D36 (Heat Network - Greater London Authority Energy) in relation to Plot D (Ashley Road West) of the Tottenham Hale Centre, N17 planning permission ref: HGY/2018/2223 dated 27 March 2019.		
Application No:	HGY/2022/0485	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	18/07/2022
Location:	Strategic Development Partnership (SDP) Sites Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West Station Road		
Proposal:	Application for the partial approval of details pursuant to Condition 16 (Back-up Diesel Generators - Details of EU Stage V Emission Standards Compliance - LBH Environmental Health) in relation to Plot D (Ashley Road West site) of the Tottenham Hale Centre planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019.		
Application No:	HGY/2022/0658	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	11/07/2022
Location:	Strategic Development Partnership (SDP) Sites Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West Station Road N17		
Proposal:	Application for the approval of details pursuant to condition D33 (Hale Road Gable Opportunity - LBH Development Management) in relation to Plot D (Ashley Road West site) of the Tottenham Hale Centre planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019.		
Application No:	HGY/2022/1189	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	16/08/2022
Location:	Garage Colony St Marys Close N17 9UD		
Proposal:	Approval of details pursuant to condition 9 (parts C & D) (contamination risk management) attached to planning permission HGY/2020/0136.		
Application No:	HGY/2022/1282	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	13/07/2022
Location:	Strategic Development Partnership (SDP) Sites Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West Station Road N17		
Proposal:	Application for the approval of details pursuant to condition E27 (Central Satellite Dish/Receiving System - LBH Development Management) in relation to Plot E (Ashley Road East site) of the Tottenham Hale Centre planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019.		
Application No:	HGY/2022/1325	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	28/06/2022
Location:	55A Scales Road N17 9HD		
Proposal:	Approval of details pursuant to condition 3 (External Materials) and condition 5 (Construction Method Statement) attached to planning permission ref: HGY/2020/0933		

Total Applications Decided for Ward: 24WARD: **West Green****ADV Applications Decided: 1**

Application No: **HGY/2022/0677** Officer: Ben Coffie
 Decision: GTD Decision Date: 16/09/2022
 Location: Pavement Outside 278 Langham Road N15 3NP
 Proposal: Installation and display of 1 x LCD display screen to one side of Communication Hub

CLDE Applications Decided: 1

Application No: **HGY/2022/1603** Officer: Mercy Oruwari
 Decision: REF Decision Date: 30/08/2022
 Location: 187 Westbury Avenue N22 6RX
 Proposal: Certificate of lawfulness for the existing use of the property as a small 6-person HMO (Use Class C4).

CLUP Applications Decided: 1

Application No: **HGY/2022/2094** Officer: Oskar Gregersen
 Decision: PERM DEV Decision Date: 16/08/2022
 Location: 298 Philip Lane N15 4AB
 Proposal: Certificate of lawfulness: Erection of rear dormer and outrigger roof extensions, and installation of roof lights on front slope.

FUL Applications Decided: 21

Application No: **HGY/2022/0676** Officer: Matthew Gunning
 Decision: GTD Decision Date: 16/09/2022
 Location: Pavement Outside 278 Langham Road N15 3NP
 Proposal: Installation of an open access Communication Hub following removal of existing telephone kiosk

Application No: **HGY/2022/0904** Officer: Gareth Prosser
 Decision: GTD Decision Date: 11/08/2022
 Location: 486 West Green Road N15 3DA
 Proposal: Erection of a structure for use as shisha lounge together with associated alterations and change of use of the premises to a mixed-use shisha lounge (sui-generis use) and commercial, business and service use (Class E).

Application No: **HGY/2022/1041** Officer: Laina Levassor
 Decision: GTD Decision Date: 18/07/2022
 Location: Flat B 15 Langham Road N15 3QX
 Proposal: Erection of rear balcony at first floor level and external staircase to garden level.

Application No: **HGY/2022/1065** Officer: Laina Levassor
 Decision: GTD Decision Date: 22/06/2022
 Location: 214 Boundary Road N22 6AJ
 Proposal: Erection of single storey side and rear extension

Application No:	HGY/2022/1201	Officer:	Gareth Prosser
Decision:	REF	Decision Date:	06/07/2022
Location:	24 Downhills Way N17 6BA		
Proposal:	Widening of an existing crossover.		
Application No:	HGY/2022/1321	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	04/07/2022
Location:	Ground Floor Flat 56 Mannock Road N22 6AA		
Proposal:	Ground floor rear and side extension.		
Application No:	HGY/2022/1348	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	12/09/2022
Location:	62 Mannock Road N22 6AA		
Proposal:	Conversion of existing 4x bed house into 1x2 bed and 1x3 bed flats including the erection of a single storey rear extension and formation of a L shaped dormer including the installaion of 1x front rooflight and rear Juliet balcony.		
Application No:	HGY/2022/1354	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	24/06/2022
Location:	1-6 Marley Close N15 3PY		
Proposal:	Replacement of existing timber glazed brown casement windows with new timber double glazed brown casement windows to Flat 1-6 Marley Close, London N15 3PY		
Application No:	HGY/2022/1355	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	24/06/2022
Location:	7 Marley Close N15 3PY		
Proposal:	Replacement of existing timber glazed brown casement windows with new timber double glazed brown casement windows to 7 Marley Close, London N15 3PY		
Application No:	HGY/2022/1356	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	24/06/2022
Location:	8 Marley Close N15 3PY		
Proposal:	Replacement of existing timber glazed brown casement windows with new timber double glazed brown casement windows to 8 Marley Close, London N15 3PY		
Application No:	HGY/2022/1357	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	24/06/2022
Location:	9 Marley Close N15 3PY		
Proposal:	Replacement of existing timber glazed brown casement windows with new timber double glazed brown casement windows to 9 Marley Close, London N15 3PY		
Application No:	HGY/2022/1358	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	23/06/2022
Location:	10 Marley Close N15 3PY		
Proposal:	Replacement of existing timber glazed brown casement windows with new timber double glazed brown casement windows to 10 Marley Close, London N15 3PY		
Application No:	HGY/2022/1359	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	24/06/2022
Location:	11 Marley Close N15 3PY		
Proposal:	Replacement of existing timber glazed brown casement windows with new timber double glazed brown casement windows to 11 Marley Close, London N15 3PY		

Application No:	HGY/2022/1360	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	24/06/2022
Location:	12 Marley Close N15 3PY		
Proposal:	Replacement of existing timber glazed brown casement windows with new timber double glazed brown casement windows to 12 Marley Close, London N15 3PY		
Application No:	HGY/2022/1361	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	24/06/2022
Location:	13 Marley Close N15 3PY		
Proposal:	Replacement of existing timber glazed brown casement windows with new timber double glazed brown casement windows to 13 Marley Close, London N15 3PY		
Application No:	HGY/2022/1362	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	24/06/2022
Location:	14 Marley Close N15 3PY		
Proposal:	Replacement of existing timber glazed brown casement windows with new timber double glazed brown casement windows to 14 Marley Close, London N15 3PY		
Application No:	HGY/2022/1441	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	15/07/2022
Location:	Shop 460 West Green Road N15 3PT		
Proposal:	Amalgamation of two separate ground floor commercial units at 458 and 460 West Green Road to form one restaurant within the E Use Class.		
Application No:	HGY/2022/1483	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	15/07/2022
Location:	Flat A 20 Kirkstall Avenue N17 6PH		
Proposal:	Single storey, side and rear extension		
Application No:	HGY/2022/1826	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	09/08/2022
Location:	35 Crossfield Road N17 6AY		
Proposal:	Proposed single storey 6.3m side return extension		
Application No:	HGY/2022/2036	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	12/09/2022
Location:	Ground Floor Shop 454 - 456 West Green Road N15 3PT		
Proposal:	Amalgamation of two separate ground floor commercial units at 454 and 456 West Green Road to form one restaurant within the E Use Class.		
Application No:	HGY/2022/2038	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	13/09/2022
Location:	39 Sandringham Road N22 6RB		
Proposal:	Demolition of existing conservatory and front porch. Creation of new rear extension and reinstatement of original features to front elevation.		

Application No: **HGY/2022/1253** Officer: Toby Williams
 Decision: PN NOT REQ Decision Date: 01/07/2022
 Location: 57 Sandford Avenue N22 5EJ
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 5.5m, for which the maximum height would be 3.5m and for which the height of the eaves would be 3m

RES Applications Decided: 4

Application No: **HGY/2021/3212** Officer: Christopher Smith
 Decision: GTD Decision Date: 15/07/2022
 Location: 423-425 Lordship Lane N22 5DH
 Proposal: Approval of details pursuant to condition 11 (Detailed Elevations) attached to Appeal decision APP/Y5420/W/19/3223654 (original planning reference HGY/2017/3679).

Application No: **HGY/2022/0438** Officer: Christopher Smith
 Decision: GTD Decision Date: 06/09/2022
 Location: Frankum & Kaye Ltd 38 Crawley Road N22 6AG
 Proposal: Approval of details pursuant to condition 9 (external lighting) attached to planning permission HGY/2019/0938

Application No: **HGY/2022/0445** Officer: Christopher Smith
 Decision: GTD Decision Date: 15/07/2022
 Location: Frankum & Kaye Ltd 38 Crawley Road N22 6AG
 Proposal: Approval of details pursuant to condition 25 (detailed method and design statement for the piling works) attached to planning permission HGY/2019/0938.

Application No: **HGY/2022/1089** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 18/08/2022
 Location: 120 Walpole Road N17 6BW
 Proposal: Approval of details reserved by a condition 3 (Secure and covered cycle parking facilities) attached to planning permission HGY/2020/0554.

Total Applications Decided for Ward: 29WARD: **White Hart Lane****ADV Applications Decided: 1**

Application No: **HGY/2022/1323** Officer: Zara Seelig
 Decision: GTD Decision Date: 01/07/2022
 Location: Unit 7 St Georges Industrial Estate White Hart Lane N22 5QL
 Proposal: Application for consent to display advertisements: 5 off internally illuminated fascia signs, 11 off non illuminated fascia signs, 9 off sets of printed window graphics

CLDE Applications Decided: 1

Application No: **HGY/2022/1423** Officer: Ben Coffie
 Decision: REF Decision Date: 14/07/2022
 Location: 51 Compton Crescent N17 7LB
 Proposal: Certificate of lawfulness for the existing use of the property as 2 separate self-contained flats comprising 1 x 2-bedroom flat and 1 x 3-bedroom flat.

CLUP Applications Decided: 2

Application No: **HGY/2022/1161** Officer: Mercy Oruwari
 Decision: PERM DEV Decision Date: 28/06/2022
 Location: 116 Gospatrick Road N17 7JE
 Proposal: Certificate of lawfulness for the erection of a rear dormer including the insertion of 3x front and 2x rear rooflights - proposed use

Application No: **HGY/2022/1884** Officer: Emily Whittredge
 Decision: PERM DEV Decision Date: 21/07/2022
 Location: 54 Henningham Road N17 7DT
 Proposal: Certificate of lawfulness for a proposed single storey rear extension and loft conversion with rear dormer and front roof lights.

FUL Applications Decided: 11

Application No: **HGY/2022/0428** Officer: Samuel Uff
 Decision: GTD Decision Date: 04/07/2022
 Location: Selby Centre Selby Road N17 8JL
 Proposal: Temporary planning permission for use of office space at the Annex Building, Selby Centre as a Driving Test Centre

Application No: **HGY/2022/1155** Officer: Mercy Oruwari
 Decision: REF Decision Date: 28/06/2022
 Location: 116 Gospatrick Road N17 7JE
 Proposal: Erection of a first-floor rear extension.

Application No: **HGY/2022/1262** Officer: Emily Whittredge
 Decision: REF Decision Date: 22/06/2022
 Location: 28 Awlfield Avenue N17 7PD
 Proposal: Loft Conversion with 2 front and 2 rear roof lights

Application No: **HGY/2022/1278** Officer: Emily Whittredge
 Decision: REF Decision Date: 04/07/2022
 Location: 11 Deyncourt Road N17 7ED
 Proposal: First floor side and rear extension. Loft conversion with erection of rear dormer and 1 x front rooflight. Alteration to fenestration.

Application No: **HGY/2022/1324** Officer: Zara Seelig
 Decision: GTD Decision Date: 04/07/2022
 Location: Unit 7 St Georges Industrial Estate White Hart Lane N22 5QL
 Proposal: Installation of a disabled access ramp to the front entrance of the building

Application No: **HGY/2022/1350** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 29/07/2022
 Location: 37 Chesthunte Road N17 7PU
 Proposal: Replacement of roof with grey concrete Redland 49 tiles with modern Spanish slate.

Application No:	HGY/2022/1511	Officer:	Emily Whittredge
Decision:	REF	Decision Date:	19/07/2022
Location:	33 Marshall Road N17 7AR		
Proposal:	Two storey side extension with a ground floor wrap around extension		
Application No:	HGY/2022/1864	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	24/08/2022
Location:	28 Awlfield Avenue N17 7PD		
Proposal:	Loft Conversion with 2 rear roof lights		
Application No:	HGY/2022/1928	Officer:	Oskar Gregersen
Decision:	GTD	Decision Date:	25/08/2022
Location:	53 Tower Gardens Road N17 7PN		
Proposal:	New roof-light window on the rear roof-slope		
Application No:	HGY/2022/1959	Officer:	Kwaku Bossman-Gyamera
Decision:	REF	Decision Date:	30/08/2022
Location:	460 Lordship Lane N17 7QY		
Proposal:	Single storey rear extension to include additional seating and smoking area to existing restaurant		
Application No:	HGY/2022/2025	Officer:	Oskar Gregersen
Decision:	REF	Decision Date:	12/09/2022
Location:	21 Great Cambridge Road N17 7LH		
Proposal:	Erection of first floor extension to rear building, including the installation of a Juliet balcony together with 4x flank windows and 2x rear windows at ground floor level and 2x rooflights to facilitate the change of use of from ancillary office to a 1 bedroom dwelling with dedicated amenity space and refuse/recycling storage.		
RES	Applications Decided: 7		
Application No:	HGY/2022/0498	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	26/07/2022
Location:	555 White Hart Lane N17 7RP		
Proposal:	Approval of details pursuant to condition 12 (refuse and waste storage and recycling facilities) attached to planning permission HGY/2020/0635		
Application No:	HGY/2022/0875	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	30/08/2022
Location:	555 White Hart Lane N17 7RP		
Proposal:	Approval of details pursuant to condition 15(d) (solar photovoltaic (PV) energy) attached to planning permission HGY/2020/0635.		
Application No:	HGY/2022/1099	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	18/08/2022
Location:	St John's Church and Hall Acacia Avenue N17 8LR		
Proposal:	Approval of details reserved by condition 4 (Secure and covered cycle parking facilities) attached planning permission HGY/2016/4095		

Application No: **HGY/2022/1196** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 06/09/2022
 Location: 555 White Hart Lane N17 7RP
 Proposal: Approval of details pursuant to condition 3 (Materials) attached to planning permission HGY/2020/0635

Application No: **HGY/2022/1198** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 06/09/2022
 Location: 555 White Hart Lane N17 7RP
 Proposal: Approval of details pursuant to condition 24 (Enclosure) attached to planning permission HGY/2020/0635

Application No: **HGY/2022/1297** Officer: Sarah Madondo
 Decision: GTD Decision Date: 22/06/2022
 Location: Land Adjacent To 318A White Hart Lane N17 8LA
 Proposal: Approval of details reserved by a condition 15 (Refuse/Waste Recycling) attached to planning permission HGY/2020/1322

Application No: **HGY/2022/1880** Officer: Emily Whittredge
 Decision: GTD Decision Date: 30/08/2022
 Location: Land rear of 15-29 Risley Avenue N17 7HJ
 Proposal: Details of contamination pursuant to condition 18a & b of planning permission HGY/2022/0018 for Redevelopment of car park and hardstanding area to provide 4 units, associated amenity space, landscaping, refuse and cycling facilities.

TEL Applications Decided: 1

Application No: **HGY/2022/1874** Officer: Kwaku Bossman-Gyamera
 Decision: PERM DEV Decision Date: 27/07/2022
 Location: Shell Tottenham 311 The Roundway N17 7AB
 Proposal: In accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003 (as amended), formal notification in writing of 28 days' notice in advance, of our client's intention to install electronic communications.
 The proposal comprises installing a new antenna onto the existing pole structure, as well as other associated works as shown on the enclosed plans.

Total Applications Decided for Ward: 23WARD: **Woodside****CLDE Applications Decided: 2**

Application No: **HGY/2022/1519** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 15/07/2022
 Location: 24 Cranbrook Park N22 5NA
 Proposal: Certificate of lawfulness for the existing use of a small 6 person HMO

Application No: **HGY/2022/1526** Officer: Laina Levassor
 Decision: GTD Decision Date: 24/08/2022
 Location: 26 Woodside Road N22 5HT
 Proposal: Certificate of Lawfulness for the existing use as 9 self-contained units

FUL Applications Decided: 9

Application No:	HGY/2022/0169	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	13/07/2022
Location:	43 Ringslade Road N22 7TE		
Proposal:	Erection of single storey side extension including double storey rear extension (amended description).		
Application No:	HGY/2022/0459	Officer:	Emily Whittredge
Decision:	GTD	Decision Date:	05/09/2022
Location:	Wood Green Underground Station High Road N22 8HH		
Proposal:	External alterations to facilitate occupation by cafe		
Application No:	HGY/2022/0852	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	19/07/2022
Location:	25 Kings Road N22 5SN		
Proposal:	Erection single-storey self contained annexe to be used as part of the existing 2-storey terrace house		
Application No:	HGY/2022/1070	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	22/06/2022
Location:	1B Earlham Grove N22 5HJ		
Proposal:	Erection of single storey rear extension		
Application No:	HGY/2022/1090	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	23/06/2022
Location:	3 Pellatt Grove N22 5NP		
Proposal:	Erection of ground floor rear extension (following demolition of existing); rear dormer roof extension; and installation of 2 x front roof lights		
Application No:	HGY/2022/1522	Officer:	Mercy Oruwari
Decision:	REF	Decision Date:	19/07/2022
Location:	3 Croxford Gardens N22 5QU		
Proposal:	Conversion of a residential dwelling house (class C3) to a house of multiple occupation (class C4).		
Application No:	HGY/2022/1534	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	20/07/2022
Location:	1 Ewart Grove N22 5NY		
Proposal:	First floor side extension. Single storey rear extension. Loft conversion with rear dormer window.		
Application No:	HGY/2022/1862	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	23/08/2022
Location:	25 Perth Road N22 5PY		
Proposal:	Conversion of existing dwelling to 2no self-contained flats consisting of 1x2bed & 1x3bed (Retrospective)		
Application No:	HGY/2022/1900	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	26/08/2022
Location:	62 Arcadian Gardens N22 5AD		
Proposal:	Change of use of property from a dwelling (C3 use) to a 6-bedroom 6-person house in multiple occupation (C4 use).		

LBC Applications Decided: 2

Application No: **HGY/2022/0460** Officer: Emily Whittredge
 Decision: GTD Decision Date: 05/09/2022
 Location: Wood Green Underground Station High Road N22 8HH
 Proposal: Listed Building consent for Internal and external alterations to facilitate occupation by cafe

Application No: **HGY/2022/1059** Officer: Elisabetta Tonazzi
 Decision: GTD Decision Date: 12/09/2022
 Location: Civic Centre High Road N22 8ZW
 Proposal: Listed building consent for asbestos R&D intrusive survey, structural investigations, condition survey, facade survey, ground investigations and investigative works.

RES Applications Decided: 2

Application No: **HGY/2021/3452** Officer: Matthew Gunning
 Decision: GTD Decision Date: 29/07/2022
 Location: Rear of 132 Station Road N22 7SX
 Proposal: Partial approval of details pursuant to condition 12 (Contamination remediation) attached to planning permission ref: HGY/2020/3036.

Application No: **HGY/2021/3453** Officer: Matthew Gunning
 Decision: GTD Decision Date: 29/07/2022
 Location: Rear of 132 Station Road N22 7SX
 Proposal: Part discharge of details pursuant to condition 19 (Drainage strategy) attached to planning permission ref: HGY/2020/3036.

Total Applications Decided for Ward: 15WARD: **Alexandra Park****CLFA Applications Decided: 1**

Application No: **HGY/2022/1969** Officer: Ben Coffie
 Decision: PERM DEV Decision Date: 01/08/2022
 Location: 21 Princes Avenue N22 7SB
 Proposal: Certificate of lawfulness (proposed): Alteration and addition to the roof by way of an L shaped roof extension.

CLUP Applications Decided: 2

Application No: **HGY/2022/1694** Officer: Sarah Madondo
 Decision: PERM DEV Decision Date: 03/08/2022
 Location: 92 Victoria Road N22 7XF
 Proposal: Certificate of lawfulness for erection of dormer on the outrigger and partial loft conversion

Application No: **HGY/2022/2339** Officer: Toby Williams
 Decision: PERM DEV Decision Date: 15/09/2022
 Location: 162 Victoria Road N22 7XQ
 Proposal: Certificate of lawfulness for the proposed erection of a roof extension to the existing rear outrigger.

FUL Applications Decided: 16

Application No:	HGY/2022/1289	Officer:	Toby Williams
Decision:	GTD	Decision Date:	28/06/2022
Location:	36 The Avenue N10 2QL		
Proposal:	Loft conversion with rear dormer and side balcony. Window replacement and other internal works.		
Application No:	HGY/2022/1310	Officer:	Toby Williams
Decision:	GTD	Decision Date:	23/06/2022
Location:	232 Alexandra Park Road N22 7BH		
Proposal:	Rear infill extension at ground floor		
Application No:	HGY/2022/1508	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	18/07/2022
Location:	Ground Floor Flat 56 Palace Gates Road N22 7BL		
Proposal:	Side extension to existing flat		
Application No:	HGY/2022/1578	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	17/08/2022
Location:	Ground Floor Flat 45 Dukes Avenue N10 2PX		
Proposal:	Erection of single storey rear extension		
Application No:	HGY/2022/1586	Officer:	James Mead
Decision:	GTD	Decision Date:	19/07/2022
Location:	41 Grosvenor Road N10 2DR		
Proposal:	Loft conversion and extension, including a partial hip to gable extension with new second floor side windows, installation of a rear dormer, insertion of two front rooflights and removal of two chimneys.		
Application No:	HGY/2022/1678	Officer:	James Mead
Decision:	GTD	Decision Date:	01/08/2022
Location:	48 Vallance Road N22 7UB		
Proposal:	Loft extension to include: installation of a rear dormer window and rooflights. External alterations to include: replacement windows, replacement tiles, replacement glazing, the installation of new rear door and refurbishment of rear balcony.		
Application No:	HGY/2022/1690	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	05/08/2022
Location:	7 Rosebery Mews N10 2LG		
Proposal:	Installation of 2 x new windows to the rear at ground floor level and 4 x new skylights in the sloping roof, internal alterations and associated external works.		
Application No:	HGY/2022/1738	Officer:	Toby Williams
Decision:	GTD	Decision Date:	03/08/2022
Location:	183 Alexandra Park Road N22 7UL		
Proposal:	Single storey ground floor side extension to house and insulated hot water storage tanks and associated pipework.		
Application No:	HGY/2022/1753	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	02/09/2022
Location:	102 Alexandra Park Road N10 2AE		
Proposal:	Change of use of the ground floor unit and basement from Class E (commercial, business and services) to a beauty training studio and salon (Sui Generis).		

Application No: **HGY/2022/1818** Officer: Ben Coffie
 Decision: REF Decision Date: 24/08/2022
 Location: 101 Albert Road N22 7AG
 Proposal: L shaped dormer with rooflights on front slope plus new spiral staircase to rear.

Application No: **HGY/2022/1835** Officer: Mark Chan
 Decision: GTD Decision Date: 20/09/2022
 Location: 122 Victoria Road N22 7XQ
 Proposal: Erection of a two-storey rear extension with decking at ground level.

Application No: **HGY/2022/1950** Officer: Ben Coffie
 Decision: GTD Decision Date: 26/08/2022
 Location: 79 Grosvenor Road N10 2DU
 Proposal: Proposed ground floor rear and side infill extension.

Application No: **HGY/2022/2022** Officer: Zara Seelig
 Decision: GTD Decision Date: 07/09/2022
 Location: 116 Blake Road N11 2AL
 Proposal: Demolition of existing outbuilding and construction of replacement.

Application No: **HGY/2022/2024** Officer: Zara Seelig
 Decision: GTD Decision Date: 14/09/2022
 Location: 54 Grove Avenue N10 2AN
 Proposal: Remodelling and rebuilding of rear ground floor extensions.
 Remodelling of garage/pool house.
 Changes to rear/side boundary fences/walls.

Application No: **HGY/2022/2026** Officer: Zara Seelig
 Decision: GTD Decision Date: 20/09/2022
 Location: 197 Albert Road N22 7AQ
 Proposal: Rear dormer on the main roof slope with a dormer on the rear outrigger and roof lights to the front roof slope (AMENDED PLANS).

Application No: **HGY/2022/2115** Officer: Toby Williams
 Decision: GTD Decision Date: 22/09/2022
 Location: 45 Rhodes Avenue N22 7UR
 Proposal: Erection of a hip to gable and rear dormer roof extension.

LCD Applications Decided: 1

Application No: **HGY/2022/1794** Officer: Mark Chan
 Decision: GTD Decision Date: 08/09/2022
 Location: Alexandra Park Library Alexandra Park Road N22 7UJ
 Proposal: Replacement of roof finish with tapered insulation to falls, new rainwater goods and new external timber doors.

NON Applications Decided: 2

Application No:	HGY/2022/1873	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	03/08/2022
Location:	47 Dagmar Road N22 7RT		
Proposal:	Non-material amendment following a grant of planning permission HGY/2020/2011 - alterations to proposed development to reduce height of the dormer cheek by 0.2m and alterations to balcony screening from frameless glass to framed glass.		
Application No:	HGY/2022/2323	Officer:	Toby Williams
Decision:	GTD	Decision Date:	15/09/2022
Location:	55 Clyde Road N22 7AD		
Proposal:	Non-Material Amendment to planning reference HGY/2020/0088 for the following changes: (1) Rear extension to be set in from the neighbouring boundary by 500mm (2) change in material to a vertical stack brick (3) rooflight change (4) extension fenestration change		

PNE Applications Decided: 1

Application No:	HGY/2022/1981	Officer:	Laina Levassor
Decision:	PN NOT REQ	Decision Date:	30/08/2022
Location:	251 Albert Road N22 7XL		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.85m and for which the height of the eaves would be 2.95m		

CLUP Applications Decided: 4

Application No:	HGY/2022/1474	Officer:	Martin Cowie
Decision:	PERM DEV	Decision Date:	12/07/2022
Location:	64 Palace Road N11 2PR		
Proposal:	Dormer roof extensions over main roof to rear and outrigger and installation of 2 rooflights to front roof slope (Certificate of Lawfulness: proposed use)		
Application No:	HGY/2022/1651	Officer:	Oskar Gregersen
Decision:	PERM DEV	Decision Date:	04/08/2022
Location:	105 Truro Road N22 8DH		
Proposal:	Certificate of lawfulness: Formation of rear and side dormers to a detached dwellinghouse		
Application No:	HGY/2022/2232	Officer:	Neil McClellan
Decision:	PERM DEV	Decision Date:	01/09/2022
Location:	3 Cornwall Avenue N22 7DA		
Proposal:	Certificate of lawfulness for proposed conversion of the loft including a rear dormer extension and three rooflights to the front.		
Application No:	HGY/2022/2289	Officer:	Oskar Gregersen
Decision:	PERM DEV	Decision Date:	08/09/2022
Location:	31 Richmond Road N11 2QR		
Proposal:	Certificate of Lawfulness for the proposed formation of a side and rear dormer extension.		

FUL Applications Decided: 10

Application No:	HGY/2022/1416	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	06/07/2022
Location:	1 Winslow Place 95 Imperial Road N22 8QQ		
Proposal:	Replacement defective green roof covering to Alwitra single ply membrane Evalon V Slate Grey, inclusive of retrospective approval for the positioning of the rooflights and PV panel array		

Application No:	HGY/2022/1428	Officer:	Toby Williams
Decision:	GTD	Decision Date:	12/07/2022
Location:	1 Whittington Road N22 8YS		
Proposal:	Renewal of planning permission for ERECTION OF A SINGLE STOREY DWELLING AT REAR OF 1, Whittington Road, Wood Green, London, Haringey, N22 8YS approved application number HGY/2019/2614		
Application No:	HGY/2022/1469	Officer:	James Mead
Decision:	REF	Decision Date:	14/07/2022
Location:	124 Woodfield Way N11 2NU		
Proposal:	Erection of two storey side extension		
Application No:	HGY/2022/1482	Officer:	Oskar Gregersen
Decision:	REF	Decision Date:	14/07/2022
Location:	16 Eastern Road N22 7DD		
Proposal:	Extend the length of an existing rear roof dormer to increase the bedroom size.		
Application No:	HGY/2022/1576	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	21/07/2022
Location:	Grace Dyer House Truro Road N22 8ER		
Proposal:	Roof covering replacements		
Application No:	HGY/2022/1701	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	19/08/2022
Location:	Shop 107 Myddleton Road N22 8NE		
Proposal:	Change of use from a sandwich bar (Class E Use) to a mixed use bar/drinking-establishment and delicatessen (Sui Generis Use) and minor alterations to the existing shop.		
Application No:	HGY/2022/1839	Officer:	Daniel Kwasi
Decision:	GTD	Decision Date:	21/09/2022
Location:	139 + 139a Myddleton Road N22 8NG		
Proposal:	Refurbishment of ground floor commercial premises, including restoration of the shopfront and stained glass glazing. The existing residential flat above the commercial premises is to be refurbished, including new windows.		
Application No:	HGY/2022/1875	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	25/08/2022
Location:	14 Blake Road N11 2AA		
Proposal:	Erection of single storey side and rear extension		
Application No:	HGY/2022/2009	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	08/09/2022
Location:	62 Durnsford Road N11 2EJ		
Proposal:	Removal of two adjacent windows to the front elevation and replacement with one window equivalent in size to the two removed.		

Application No: **HGY/2022/2191** Officer: Sabelle. Adjagboni
 Decision: GTD Decision Date: 21/09/2022
 Location: 3 Cornwall Avenue N22 7DA
 Proposal: A single storey rear extension is proposed to replace the existing lean-to and to be built out square to the main house.

PNE Applications Decided: 2

Application No: **HGY/2022/1580** Officer: Oskar Gregersen
 Decision: PN NOT REQ Decision Date: 22/07/2022
 Location: 105 Truro Road N22 8DH
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 8m, for which the maximum height would be 3m and for which the height of the eaves would be 2.7m.

Application No: **HGY/2022/1762** Officer: Oskar Gregersen
 Decision: PN NOT REQ Decision Date: 17/08/2022
 Location: 22 The Drive N11 2DX
 Proposal: Extension of single storey extension which extends beyond the rear wall of the original house by 4.5m, for which the maximum height would be 3.4m and for which the height of the eaves would be 2.6m.

RES Applications Decided: 1

Application No: **HGY/2022/0792** Officer: Conor Guilfoyle
 Decision: GTD Decision Date: 23/06/2022
 Location: 10 Buckingham Road N22 7SR
 Proposal: Approval of details pursuant to conditions 3 (materials), 4 (landscaping), 5 (construction management plan) and 6 (energy efficiency measures/features) attached to planning permission ref: HGY/2021/1512

CLUP Applications Decided: 2

Application No: **HGY/2022/2268** Officer: Laina Levassor
 Decision: PERM DEV Decision Date: 23/09/2022
 Location: 75 Lordsmead Road N17 6EX
 Proposal: Certificate of Lawfulness for proposed rear dormer extension

Application No: **HGY/2022/2347** Officer: Toby Williams
 Decision: PERM DEV Decision Date: 14/09/2022
 Location: 47 Broadwater Road N17 6EP
 Proposal: Certificate of lawfulness for the proposed erection of a single storey outbuilding in the rear garden.

COND Applications Decided: 2

Application No: **HGY/2022/1185** Officer: Emily Whittredge
 Decision: GTD Decision Date: 23/06/2022
 Location: 639 High Road N17 8AA
 Proposal: Variation of Condition 2 (approved plans) of listed building consent ref: HGY/2021/2203 for Internal refurbishment of Grade II listed property, namely to amend the ventilation strategy

Application No: **HGY/2022/1186** Officer: Emily Whittredge
 Decision: GTD Decision Date: 23/06/2022
 Location: 639 High Road N17 8AA
 Proposal: Variation of Condition 2 (approved plans) of planning permission ref: HGY/2021/2202 for refurbishment of Grade II listed property, namely to amend the ventilation strategy

FUL Applications Decided: 4

Application No: **HGY/2022/1226** Officer: Emily Whittredge
 Decision: GTD Decision Date: 30/08/2022
 Location: 128 Great Cambridge Road N17 8LT
 Proposal: Two Storey Rear Extension

Application No: **HGY/2022/1644** Officer: Zara Seelig
 Decision: REF Decision Date: 01/08/2022
 Location: 364 White Hart Lane N17 8LN
 Proposal: Single storey and part two-storey rear extension.

Application No: **HGY/2022/1746** Officer: Laina Levassor
 Decision: GTD Decision Date: 03/08/2022
 Location: 116 Broadwater Road N17 6ET
 Proposal: Construction of rear dormer to facilitate loft conversion.

Application No: **HGY/2022/1957** Officer: Sarah Madondo
 Decision: GTD Decision Date: 20/09/2022
 Location: 20 Ruskin Road N17 8ND
 Proposal: Conversion of dwelling house into 2 self contained flats. Installation of one additional window to side elevation and three roof light to front elevation, hip to gable loft conversion

PNE Applications Decided: 1

Application No: **HGY/2022/1553** Officer: Oskar Gregersen
 Decision: PN NOT REQ Decision Date: 22/07/2022
 Location: 37 Nursery Street N17 8AP
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 5.5m, for which the maximum height would be 2.78m and for which the height of the eaves would be 2.78m

CLFA Applications Decided: 1

Application No: **HGY/2022/2229** Officer: Kwaku Bossman-Gyamera
 Decision: PERM DEV Decision Date: 05/09/2022
 Location: 44 Shepherds Hill N6 5RR
 Proposal: Certificate of Lawfulness for proposed single storey rear extension including internal and external alterations.

COND Applications Decided: 1

Application No: **HGY/2022/1737** Officer: James Mead
 Decision: GTD Decision Date: 24/08/2022
 Location: Morriss House 23 Coolhurst Road N8 8EP
 Proposal: Variation of condition 2 (approved plans) attached to planning permission HGY/2021/0116 alterations to include: provision of two rear dormer windows, changes to roof design of rear projections, lowering of basement & ground floor level to the rear extension, lowering of the basement under the existing house, enlargement of basement at the front, alterations to fenestration, new rooflight to side and omission of chimney.

FUL Applications Decided: 10

Application No:	HGY/2022/1207	Officer:	Toby Williams
Decision:	GTD	Decision Date:	21/06/2022
Location:	Flat A 181 Ferme Park Road N8 9BP		
Proposal:	Erection of an extension at the rear of the ground floor level and erection of an outbuilding (a home office).		
Application No:	HGY/2022/1467	Officer:	James Mead
Decision:	GTD	Decision Date:	19/07/2022
Location:	Flat 1b 21 Stanhope Road N6 5AW		
Proposal:	Installation of a detached timber garden outbuilding.		
Application No:	HGY/2022/1697	Officer:	Toby Williams
Decision:	GTD	Decision Date:	01/08/2022
Location:	Flat 1 15 Fairfield Road N8 9HG		
Proposal:	New build single storey detached garden room and bicycle store, located in private back garden of Flat 1, 15 Fairfield Road N8 9HG.		
Application No:	HGY/2022/1700	Officer:	Toby Williams
Decision:	GTD	Decision Date:	13/09/2022
Location:	17 Shanklin Road N8 8TJ		
Proposal:	A single storey side extension, two storey rear extension and dormer extension.		
Application No:	HGY/2022/1739	Officer:	Toby Williams
Decision:	GTD	Decision Date:	03/08/2022
Location:	Ground Floor Flat A 150 Park Road N8 8JT		
Proposal:	Erection of garden building 4.2m wide x 3.81m deep x 2.4 m high, made of timber construction with a dual felt pitched roof.		
Application No:	HGY/2022/1806	Officer:	James Mead
Decision:	GTD	Decision Date:	26/08/2022
Location:	Ground Floor Flat 222 Park Road N8 8JX		
Proposal:	Erection of single storey rear extensions to ground floor property (222b).		
Application No:	HGY/2022/1811	Officer:	Tania Skelli
Decision:	REF	Decision Date:	21/09/2022
Location:	1 Olivers Row N8 9BF		
Proposal:	Erection of an outbuilding structure for a purpose incidental to the enjoyment of the dwellinghouse.		
Application No:	HGY/2022/1840	Officer:	Daniel Kwasi
Decision:	GTD	Decision Date:	14/09/2022
Location:	16 Weston Park N8 9TJ		
Proposal:	Removal of existing dilapidated garage and addition of single storey structure to provide a new home office and WC for the ground floor flat.		
Application No:	HGY/2022/1955	Officer:	Mark Chan
Decision:	GTD	Decision Date:	15/09/2022
Location:	Flat B 15 Weston Park N8 9SY		
Proposal:	Erection of a timber outbuilding at the rear garden.		

Application No: **HGY/2022/2124** Officer: Toby Williams
 Decision: GTD Decision Date: 23/09/2022
 Location: 23 Clifton Road N8 8JA
 Proposal: Loft conversion and construction of rear and rear side dormers, insertion of front and side rooflights, rear Juliette balcony. Addition of window to the rear.

HHF Applications Decided: 1

Application No: **HGY/2022/1814** Officer: Toby Williams
 Decision: GTD Decision Date: 24/08/2022
 Location: 33 Ridgeway Gardens N6 5XR
 Proposal: Ground floor single story rear conservatory extension and rear dormer roof extension with 3 skylights to front roof slope.

NON Applications Decided: 1

Application No: **HGY/2022/2325** Officer: Toby Williams
 Decision: GTD Decision Date: 14/09/2022
 Location: Flat 2 160 Ferme Park Road N8 9SE
 Proposal: Non-Material Amendment to planning permission HGY/2021/1953 for the following changes: (1) rear fenestration changes to the proposed extension (2) change in proposed external material to a rendered finish to match the existing host building.

RES Applications Decided: 2

Application No: **HGY/2022/1450** Officer: Matthew Gunning
 Decision: GTD Decision Date: 04/08/2022
 Location: 6 Broughton Gardens N6 5RS
 Proposal: Approval of details reserved by condition 3 (Construction Management Plan) attached to planning permission HGY/2021/3493.

Application No: **HGY/2022/1783** Officer: Matthew Gunning
 Decision: GTD Decision Date: 12/09/2022
 Location: Land rear of 29 Haringey Park N8 9JD
 Proposal: Approval of details pursuant to Condition 6 (Landscaping), Condition 8 (Refuse & Waste Storage), Condition 9 (Cycle Parking) & Condition 11 (Bird & Bat Boxes) attached to planning permission ref: HGY/2020/1826.

TPO Applications Decided: 4

Application No: **HGY/2022/1512** Officer: Matthew Gunning
 Decision: GTD Decision Date: 09/09/2022
 Location: Westcott 23 Stanhope Road N6 5AW
 Proposal: Works to trees protected by a TPO
 Ash (T1) - Prune back to the boundary line of 4 Broughton Gardens. The tree is mostly growing over the boundary line of 4 Broughton Gardens and blocks a lot of light to the garden and property. The tree provides limited amenity value and there would be minimal impact on the public amenity. Current height 18m. Final height after pruning, 10m.
 Ash (T2) - Reduce the height of the tree by 5m. Due to the tree's close proximity to the adjacent trees, it has grown very tall with a high canopy. On a mild day the stem moves significantly. There is concern that the tree may fail in high wind and hit the house at 4 Broughton Gardens. Current height 19m. Final height after pruning, 14m.
 Sycamore (T3) - Prune back to the boundary line of 4 Broughton Gardens (approx 3m off lateral branches and diagonal stems). To let more light into the garden of No.4. Current height 12m.

Application No:	HGY/2022/1650	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	05/08/2022
Location:	33 Ridgeway Gardens N6 5XR		
Proposal:	Works to tree protected by a TPO. T1 Lime (Tilia) Rear garden, left corner on boundary but vast majority within 33 Ridgeway Gardens. Under managed tree which is situated on a sloped bank which backs onto Roden Court care home. An old pollard with some 10-14 meters of regrowth stems. Spec-Re-pollard to 1 meter above old pollard points to maintain and as a duty of care to manage and contain crown and root activity. Check for rot pockets on old pollard points.		
Application No:	HGY/2022/1763	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	17/08/2022
Location:	116 Crouch Hill N8 9DY		
Proposal:	Works to trees protected by a TPO. Lime (T1 & T2): Reduce to previous most recent pruning points. Work is in line with good arboricultural management of this species.		
Application No:	HGY/2022/1812	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	30/08/2022
Location:	Highgate Spinney Crescent Road N8 8AR		
Proposal:	Works to tree protected by a TPO: T38: Common Horse Chestnut (17m): Re-pollard to previous points removing 3m of regrowth		
(All other specified tree works will be considered under Section 211 Notice ref. CON/2022/0277)			

CLUP Applications Decided: 6

Application No:	HGY/2022/1532	Officer:	Valerie Okeiyi
Decision:	PERM DEV	Decision Date:	01/07/2022
Location:	12 Fordington Road N6 4TJ		
Proposal:	Certificate of Lawfulness for erection of a rear/ side dormer window and rooflight to the front elevation (proposed)		
Application No:	HGY/2022/1787	Officer:	Matthew Gunning
Decision:	PERM DEV	Decision Date:	18/08/2022
Location:	7 Osier Crescent N10 1QQ		
Proposal:	Certificate of lawfulness: proposed use: Widening existing ground floor rear extension and loft conversion with rear dormer extension.		
Application No:	HGY/2022/1916	Officer:	Emily Whittredge
Decision:	PERM DEV	Decision Date:	27/07/2022
Location:	14 Woodside Avenue N6 4SS		
Proposal:	Garden room (Certificate of lawfulness)		
Application No:	HGY/2022/2335	Officer:	Toby Williams
Decision:	PERM DEV	Decision Date:	15/09/2022
Location:	20 Steeds Road N10 1JD		
Proposal:	Certificate of lawfulness for the proposed erection of a single storey outbuilding in the rear garden.		
Application No:	HGY/2022/2348	Officer:	Toby Williams
Decision:	PERM DEV	Decision Date:	14/09/2022
Location:	53 Midhurst Avenue N10 3EP		
Proposal:	Certificate of lawfulness for the proposed erection of a single storey outbuilding in the property's rear garden.		

Application No: **HGY/2022/2416** Officer: Neil McClellan
 Decision: PERM DEV Decision Date: 20/09/2022
 Location: 32 Springcroft Avenue N2 9JE
 Proposal: Certificate of lawfulness for a proposed dormer extension to the rear and rooflights to the front.

COND Applications Decided: 1

Application No: **HGY/2022/1614** Officer: Christopher Smith
 Decision: GTD Decision Date: 13/07/2022
 Location: 79 Fordington Road N6 4TH
 Proposal: Variation to condition 3 (drawings) of HGY/2022/0466 for installation of an additional window into the side elevation of the permitted extension.

FUL Applications Decided: 13

Application No: **HGY/2022/1315** Officer: Toby Williams
 Decision: GTD Decision Date: 28/06/2022
 Location: 62 Tetherdown N10 1NG
 Proposal: The creation of a ground floor rear extension with associated landscaping works and raised external decking. The creation of a side dormer extension to the loft space as well as the creation of one new skylight in the loft space visible from the front elevation and one new skylight in the loft space visible from the rear elevation. One new skylight is also proposed on the roof face below the proposed dormer extension, visible from the side elevation. The painting of the external elevations of the property including the window frames and cills and the replacement of existing concrete roof tiles with slate roof tiles.

Application No: **HGY/2022/1609** Officer: James Mead
 Decision: GTD Decision Date: 18/08/2022
 Location: 50 Creighton Avenue N10 1NT
 Proposal: Erection of single storey front extension.

Application No: **HGY/2022/1627** Officer: James Mead
 Decision: GTD Decision Date: 28/07/2022
 Location: First Floor Flat 35 Springcroft Avenue N2 9JH
 Proposal: Loft conversion & extension including the installation of a rear dormer, the insertion of three front rooflights and extension of a soil/vent pipe.

Application No: **HGY/2022/1662** Officer: James Mead
 Decision: GTD Decision Date: 18/08/2022
 Location: 34 Barnard Hill N10 2HB
 Proposal: Erection of single storey rear extension, addition of bi-fold doors to rear elevation and replacement of two first floor windows on rear elevation.

Application No: **HGY/2022/1821** Officer: James Mead
 Decision: GTD Decision Date: 16/08/2022
 Location: 39 Pages Lane N10 1PU
 Proposal: Loft extension and conversion involving: hip to gable extension, installation of a rear dormer and addition of rooflights. Removal of balcony and erection of a single storey rear storage unit extension, incorporating a terrace/balcony. Alterations to fenestration.

Application No:	HGY/2022/1822	Officer:	James Mead
Decision:	GTD	Decision Date:	22/08/2022
Location:	3 Beech Drive N2 9NX		
Proposal:	Partial removal of existing side and rear projections. Erection of single storey side/rear extensions and erection of part single, part double storey side extension.		
Application No:	HGY/2022/1929	Officer:	Emily Whittredge
Decision:	GTD	Decision Date:	05/09/2022
Location:	62 Greenham Road N10 1LP		
Proposal:	Erection of a rear dormer to the main roof, a dormer above the outrigger and the installation of three rooflights at the front roofslope		
Application No:	HGY/2022/1967	Officer:	Conor Guilfoyle
Decision:	REF	Decision Date:	26/08/2022
Location:	23 Coniston Road N10 2BL		
Proposal:	Enlargement and extension of consented rear dormer (planning permission HGY/2022/1341)		
Application No:	HGY/2022/1994	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	14/09/2022
Location:	Flat B 56 Coniston Road N10 2BN		
Proposal:	Erection of a rear extension.		
Application No:	HGY/2022/2028	Officer:	Toby Williams
Decision:	GTD	Decision Date:	12/09/2022
Location:	7 Muswell Avenue N10 2EB		
Proposal:	Erection of Side Extension, including 4 new rooflights and alteration to side and rear elevations.		
Application No:	HGY/2022/2099	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	12/09/2022
Location:	12 Fordington Road N6 4TJ		
Proposal:	Single storey rear extension		
Application No:	HGY/2022/2143	Officer:	James Mead
Decision:	GTD	Decision Date:	23/09/2022
Location:	32 Alexandra Park Road N10 2AB		
Proposal:	Demolition of existing rear utility room, addition of bi-fold doors and a window to the rear elevation, replacement windows throughout and removal of stone cladding to be replaced with white render at front and rear.		
Application No:	HGY/2022/2196	Officer:	Toby Williams
Decision:	GTD	Decision Date:	22/08/2022
Location:	23 Fortismere Avenue N10 3BN		
Proposal:	Single storey rear extension.		

NON Applications Decided: 2

Application No: **HGY/2022/1923** Officer: Toby Williams
 Decision: GTD Decision Date: 02/08/2022
 Location: 21 Collingwood Avenue N10 3EH
 Proposal: Non-Material Amendment sought to planning permission HGY/2022/0755 for the revision of the rooflights to the dormers flat roof & adjustment of dormer setting out.

Application No: **HGY/2022/2237** Officer: Toby Williams
 Decision: GTD Decision Date: 06/09/2022
 Location: 14 Ringwood Avenue N2 9NS
 Proposal: Non-Material Amendments to planning reference HGY/2021/1682 for the following changes: (1) Introduction of rear canopy not extending past the overall rear elevation depth; (2) Omission of high-level window; (3) Change of rooflight; (4) Update of garden layout.

PNC Applications Decided: 1

Application No: **HGY/2022/1796** Officer: Ben Coffie
 Decision: PN REFUSED Decision Date: 11/08/2022
 Location: St Matthews Court 7b Coppetts Road N10 1NW
 Proposal: Prior approval for the construction of one additional storey of residential floorspace immediately above the top floor of the principal part of the building (taken as the whole roof). The proposed additional storey will deliver eight new dwellings, comprised of 4 x 1b/1p and 4 x 1b/2p above St Matthews Court under Part 20, Class A of the Town and Country Planning (General Permitted Development) Order 2015 (amended 2020)

PND Applications Decided: 1

Application No: **HGY/2022/2340** Officer: James Mead
 Decision: PN GRANT Decision Date: 21/09/2022
 Location: 2 Woodside Avenue N6 4SS
 Proposal: Application to determine if prior approval is required for the demolition of a garage/store at the rear.

RES Applications Decided: 2

Application No: **HGY/2022/1451** Officer: Matthew Gunning
 Decision: GTD Decision Date: 05/08/2022
 Location: 50 Lanchester Road N6 4TA
 Proposal: Approval of details pursuant to condition 3 (Materials) attached to planning permission HGY/2019/1070.

Application No: **HGY/2022/1453** Officer: Matthew Gunning
 Decision: GTD Decision Date: 18/07/2022
 Location: 141 Coppetts Road N10 1JP
 Proposal: Approval of details pursuant to condition 5 (site enclosure) and condition 6 (bin and cycle enclosure) attached to planning permission HGY/2020/0039.

ADV Applications Decided: 1

Application No: **HGY/2022/1414** Officer: Emily Whittredge
 Decision: GTD Decision Date: 23/08/2022
 Location: 76 Grand Parade N4 1DX
 Proposal: Display of advertisements - Fascia Sign and Hanging sign

CLDE Applications Decided: 1

Application No: **HGY/2022/1921** Officer: Oskar Gregersen
 Decision: REF Decision Date: 02/09/2022
 Location: 54 Beresford Road N8 0AJ
 Proposal: Certificate of lawfulness: Existing use as two self-contained flats

CLUP Applications Decided: 4

Application No: **HGY/2022/1475** Officer: Martin Cowie
 Decision: PERM DEV Decision Date: 12/07/2022
 Location: 20 Allison Road N8 0AT
 Proposal: Dormer roof extensions over main roof to rear and outrigger and installation of 3 rooflights to front roof slope (Certificate of Lawfulness: proposed use)

Application No: **HGY/2022/1684** Officer: Sarah Madondo
 Decision: PERM DEV Decision Date: 08/08/2022
 Location: 137 Fairfax Road N8 0NJ
 Proposal: Certificate of lawfulness for the erection of rear dormer and dormer on the eoutriggger, including insertion of 2 x rooflight to front elevation.

Application No: **HGY/2022/1926** Officer: Toby Williams
 Decision: PERM DEV Decision Date: 16/08/2022
 Location: 107 Beresford Road N8 0AG
 Proposal: Certificate of lawfulness for the erection of a L-shaped dormer extension with rooflights to the front roof slope.

Application No: **HGY/2022/2006** Officer: Laina Levassor
 Decision: PERM DEV Decision Date: 30/08/2022
 Location: 1 Atterbury Road N4 1SF
 Proposal: Certificate of lawfulness for proposed hip to gable and rear dormer extensions

FUL Applications Decided: 12

Application No: **HGY/2022/1413** Officer: Emily Whittredge
 Decision: GTD Decision Date: 23/08/2022
 Location: 76 Grand Parade N4 1DX
 Proposal: Formation of new shopfront

Application No: **HGY/2022/1427** Officer: James Mead
 Decision: REF Decision Date: 18/08/2022
 Location: First Floor Flat 7 Warham Road N4 1AR
 Proposal: Creation of roof terrace to rear of property and associated works

Application No: **HGY/2022/1677** Officer: Sarah Madondo
 Decision: GTD Decision Date: 24/08/2022
 Location: 511A Green Lanes N4 1AN
 Proposal: Conversion of existing two storey flat into a single storey one bedroom flat and a single storey 2 bedroom flat with a new entrance on Green Lanes, removal of existing derelict post boxes, and new windows to the rear.

Application No:	HGY/2022/1761	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	27/07/2022
Location:	36 Willoughby Road N8 0JG		
Proposal:	Conversion of solicitor's office into a two bedroom flat on ground floor.		
Application No:	HGY/2022/1809	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	15/08/2022
Location:	Ground Floor Flat 50 Lausanne Road N8 0HN		
Proposal:	Single storey side and rear extension with rooflights		
Application No:	HGY/2022/1861	Officer:	Kwaku Bossman-Gyamera
Decision:	REF	Decision Date:	15/08/2022
Location:	43 Grand Parade N4 1AQ		
Proposal:	Two-storey rear extension above existing rear extension with mansard roof over to create 2 studio flats		
Application No:	HGY/2022/1892	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	17/08/2022
Location:	40 Mattison Road N4 1BD		
Proposal:	Erection of a rear dormer and roof extension including the insertion of 3x front rooflights		
Application No:	HGY/2022/1961	Officer:	Ben Coffie
Decision:	REF	Decision Date:	23/09/2022
Location:	133-137 Turnpike Lane N8 0DU		
Proposal:	Retrospective amendments to previously approved loft conversion & extension scheme (HGY/2020/2868), comprising the reconfiguration and enlargement of the approved Flat E at No.137, the creation of one additional 2-bedroom flat (Flat F at No.137), and reverting Flat D at No.133 to its original layout but with the creation of a new roof terrace area to serve flats E and F.		
Application No:	HGY/2022/2001	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	14/09/2022
Location:	41 Falkland Road N8 0NS		
Proposal:	Single storey rear infill extension		
Application No:	HGY/2022/2014	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	07/09/2022
Location:	First Floor Flat B 36 Mattison Road N4 1BD		
Proposal:	Rear L-shaped dormer with roof terrace and rooflights on front slope.		
Application No:	HGY/2022/2051	Officer:	Zara Seelig
Decision:	REF	Decision Date:	06/09/2022
Location:	76 Warham Road N4 1AU		
Proposal:	Addition of a set back deck and balustrade on a portion of an existing flat roof.		

Application No: **HGY/2022/2054** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 23/09/2022
 Location: 151 Fairfax Road N8 0NJ
 Proposal: Removal of side door and bay window and erection of single storey infill extension with structural glazed roof. Replacement of rear window with bi-folding doors.

NON Applications Decided: 1

Application No: **HGY/2022/2179** Officer: Samuel Uff
 Decision: GTD Decision Date: 12/09/2022
 Location: 7 Endymion Road N4 1EE
 Proposal: Non-Material Amendment to HGY/2021/3421 for change of use to 6 flats (C3) and associated alterations to amend the location of cycle store to front of the site and retention of ground and first floor rear windows.

CLUP Applications Decided: 3

Application No: **HGY/2022/1478** Officer: Martin Cowie
 Decision: PERM DEV Decision Date: 14/07/2022
 Location: 15 Chesterfield Gardens N4 1LJ
 Proposal: Dormer roof extensions over main roof to rear and outrigger, installation of 2 rooflights to front roof slope and single storey rear infill extension (Certificate of Lawfulness: proposed use)

Application No: **HGY/2022/1732** Officer: Neil McClellan
 Decision: PNR Decision Date: 11/07/2022
 Location: 78 Finsbury Park Avenue N4 1DS
 Proposal: Certificate of lawfulness for a proposed single storey rear extension.

Application No: **HGY/2022/2418** Officer: Neil McClellan
 Decision: PERM DEV Decision Date: 20/09/2022
 Location: 70 Hermitage Road N4 1LY
 Proposal: Certificate of lawfulness for proposed dormer extensions to the main rear roof slope and outrigger roof and for the installation of rooflights on the front roof slope.

FUL Applications Decided: 4

Application No: **HGY/2022/1858** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 10/08/2022
 Location: 6 Linkway N4 1QF
 Proposal: Retrospective planning application to convert a dwelling house (Class C3 Use) into a house in multiple occupation HMO (Class C4 Use).

Application No: **HGY/2022/1876** Officer: Laina Levassor
 Decision: GTD Decision Date: 30/08/2022
 Location: Flat 1 94 Hermitage Road N4 1NL
 Proposal: Erection of single storey rear extension

Application No: **HGY/2022/1891** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 17/08/2022
 Location: Ground Floor Flat A 23 Kimberley Gardens N4 1LB
 Proposal: Erection of a single storey rear extension

Application No: **HGY/2022/1948** Officer: Ben Coffie
 Decision: REF Decision Date: 26/08/2022
 Location: 20 Eade Road N4 1DH
 Proposal: Roof extension comprising full width dormer to rear of main roof and outrigger roof extension with small balcony to rear.

ADV Applications Decided: 1

Application No: **HGY/2022/1949** Officer: Ben Coffie
 Decision: GTD Decision Date: 26/08/2022
 Location: 2 Highgate High Street N6 5JL
 Proposal: 1 set of externally illuminated fascia text to replace existing and 1 externally illuminated projection sign to replace existing.

CLUP Applications Decided: 1

Application No: **HGY/2022/2061** Officer: Emily Whittredge
 Decision: PERM DEV Decision Date: 09/08/2022
 Location: 3 Regency Terrace 66 North Hill N6 4RP
 Proposal: Insertion of 2 x conservation style rooflights to the front roofslope (Certificate of lawfulness)

COND Applications Decided: 1

Application No: **HGY/2022/2079** Officer: James Mead
 Decision: GTD Decision Date: 14/09/2022
 Location: 17 Highgate Close N6 4SD
 Proposal: Variation of condition 2 (approved plans) attached to planning permission: HGY/2021/1725. Alterations to include: changes to rear fenestration, removal of oriel window, metal railings to replace glass balustrade and installation of solar panels.

FUL Applications Decided: 19

Application No: **HGY/2022/1283** Officer: Toby Williams
 Decision: REF Decision Date: 07/07/2022
 Location: Ground Floor Flat 2 Bloomfield Road N6 4ET
 Proposal: Single storey ground floor rear extension

Application No: **HGY/2022/1335** Officer: Tania Skelli
 Decision: REF Decision Date: 22/09/2022
 Location: 373 Archway Road N6 4EJ
 Proposal: Retention of existing shop front (retrospective application)

Application No: **HGY/2022/1425** Officer: Tania Skelli
 Decision: REF Decision Date: 31/08/2022
 Location: Flat 1 1 Cromwell Avenue N6 5HN
 Proposal: Erection of first floor extension at the rear elevation

Application No:	HGY/2022/1426	Officer:	Toby Williams
Decision:	GTD	Decision Date:	11/08/2022
Location:	Tree Tops Compton Avenue N6 4LH		
Proposal:	Erection of single storey rear extension, minor alterations to first-floor terrace and balustrade and associated landscaping.		
Application No:	HGY/2022/1442	Officer:	Toby Williams
Decision:	GTD	Decision Date:	18/07/2022
Location:	Woodside Works Summersby Road N6 5UH		
Proposal:	Change of use of Woodside Works to an open-access ceramics studio, offering memberships giving access to a shared studio space as well as classes in ceramics from beginner level onwards.		
Application No:	HGY/2022/1572	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	08/08/2022
Location:	9 View Road N6 4DJ		
Proposal:	Demolition of existing single storey side garage adjoining property and erection of larger replacement single storey side extension; Installation of air source heat pump and air conditioning unit to the rear.		
Application No:	HGY/2022/1619	Officer:	Toby Williams
Decision:	GTD	Decision Date:	26/07/2022
Location:	23 Claremont Road N6 5DA		
Proposal:	Retrospective consent for the installation of a bike box for bike storage in the front garden.		
Application No:	HGY/2022/1622	Officer:	Toby Williams
Decision:	GTD	Decision Date:	26/07/2022
Location:	16 Hillside Gardens N6 5ST		
Proposal:	Proposed garden studio / outbuilding in rear garden.		
Application No:	HGY/2022/1652	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	31/08/2022
Location:	2 Highgate High Street N6 5JL		
Proposal:	Creation of roof terrace with instillation of a balustrade and a planter box and the replacement of a window with a new access door (AMENDED PLANS AND DESCRIPTION).		
Application No:	HGY/2022/1686	Officer:	Mark Chan
Decision:	GTD	Decision Date:	30/08/2022
Location:	59 Holmesdale Road N6 5TH		
Proposal:	Erection of a ground floor rear and side infill extension and alterations to rear fenestration.		
Application No:	HGY/2022/1741	Officer:	Toby Williams
Decision:	GTD	Decision Date:	24/08/2022
Location:	1 St Georges Terrace 6 North Hill N6 4PW		
Proposal:	Erection of a side-infill extension to replace existing lightwell, addition of a rooflight to the existing dormer extension and replacement of both rear doors.		
Application No:	HGY/2022/1797	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	18/08/2022
Location:	27 North Grove N6 4SH		
Proposal:	Proposed rear glazed doors/windows to the rear lower ground floor, new lightwell with window to front lower ground floor, conversion of existing garage to habitable space and replacement of garage door, rooflight to roof, minor landscaping to rear garden and driveway.		

Application No: **HGY/2022/1799** Officer: Ben Coffie
 Decision: REF Decision Date: 19/08/2022
 Location: Garden Flat 32 Milton Avenue N6 5QE
 Proposal: Retention of the single storey extension with alterations to the roof to accord with the planning permission ref. HGY/2018/2331 and tinting of the brickwork to match that of the rear elevation of the main building.

Application No: **HGY/2022/1817** Officer: Tania Skelli
 Decision: GTD Decision Date: 21/09/2022
 Location: 30 Orchard Road N6 5TR
 Proposal: Erection of side / rear single storey extension.

Application No: **HGY/2022/1841** Officer: Daniel Kwasi
 Decision: GTD Decision Date: 16/09/2022
 Location: First Floor Flat B 22 Langdon Park Road N6 5QG
 Proposal: Improving access first-floor rear terrace by replacing door and window with double French doors (Option 1).

Application No: **HGY/2022/1901** Officer: James Mead
 Decision: GTD Decision Date: 14/09/2022
 Location: 37 Langdon Park Road N6 5PT
 Proposal: Erection of single storey rear extension with roof terrace and addition of replacement rooflights.

Application No: **HGY/2022/1922** Officer: Toby Williams
 Decision: GTD Decision Date: 25/08/2022
 Location: 46 Cholmeley Crescent N6 5HA
 Proposal: Demolition of rear conservatory and erection of ground floor rear extension.

Application No: **HGY/2022/2048** Officer: Toby Williams
 Decision: REF Decision Date: 13/09/2022
 Location: Ground Floor Flat 2 Bloomfield Road N6 4ET
 Proposal: Single storey side and rear extension, amended windows, green roof added. Resubmission following refused application HGY/2022/1283

Application No: **HGY/2022/2136** Officer: Zara Seelig
 Decision: REF Decision Date: 23/09/2022
 Location: 28 Hornsey Lane Gardens N6 5PB
 Proposal: Two storey extension to rear of house

LBC Applications Decided: 4

Application No: **HGY/2022/1504** Officer: Matthew Gunning
 Decision: GTD Decision Date: 09/09/2022
 Location: 55 North Hill N6 4BS
 Proposal: Listed Building Consent: Minor internal changes to the non-original main bathroom and fittings; as well as proposed paving, landscaping and bicycle storage to the front yard.

Application No:	HGY/2022/1570	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	08/08/2022
Location:	9 View Road N6 4DJ		
Proposal:	Listed building consent for the demolition of existing single storey side garage adjoining property and erection of larger replacement single storey side extension.		
Application No:	HGY/2022/1736	Officer:	Mark Chan
Decision:	GTD	Decision Date:	19/08/2022
Location:	12 Wood Lane N6 5UB		
Proposal:	Listed building consent for opening up works to modern fabric to assess presence and condition of historic finishes and sub-structure.		
Application No:	HGY/2022/2075	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	09/09/2022
Location:	55 North Hill N6 4BS		
Proposal:	Listed Building Consent for minor internal changes to basement and ground floor.		

RES Applications Decided: 12

Application No:	HGY/2022/1446	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	08/07/2022
Location:	Land At Townsend Yard N6 5JF		
Proposal:	Approval of details reserved by condition 12 (Considerate contractor) attached to planning permission HGY/2020/1326.		
Application No:	HGY/2022/1447	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	08/07/2022
Location:	Land At Townsend Yard N6 5JF		
Proposal:	Approval of details reserved by condition 13 (Arboricultural Method Statement) attached to planning permission HGY/2020/1326		
Application No:	HGY/2022/1448	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	19/08/2022
Location:	Land At Townsend Yard N6 5JF		
Proposal:	Part approval of details reserved by condition 19 (Contamination) (Parts a. & b.) attached to planning permission HGY/2020/1326.		
Application No:	HGY/2022/1449	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	20/07/2022
Location:	Land At Townsend Yard N6 5JF		
Proposal:	Approval of details reserved by condition 9 (Details of levels) attached to planning permission HGY/2020/1326.		
Application No:	HGY/2022/1455	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	26/08/2022
Location:	Former Newstead Nursing Home Denewood Road N6 4AL		
Proposal:	Approval of details (partial) pursuant to condition 12 (Contamination) attached to planning permission HGY/2018/3205		

Application No:	HGY/2022/1524	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	03/08/2022
Location:	Former Newstead Nursing Home Denewood Road N6 4AL		
Proposal:	Approval of details pursuant to condition 11 (Piling Method Statement) attached to planning permission HGY/2018/3205		
Application No:	HGY/2022/1713	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	13/09/2022
Location:	Branksome Courtenay Avenue N6 4LP		
Proposal:	Approval of details pursuant to condition 12 (Materials) attached to planning permission ref: HGY/2021/1190 dated 6/10/2021 and as amended by ref: HGY/2021/3129 dated 15/11/2021 for the demolition of the existing dwelling house and erection of replacement dwelling house, including accommodation at basement, ground, first floor and roof levels with associated landscaping to front and rear garden areas.		
Application No:	HGY/2022/1755	Officer:	James Mead
Decision:	GTD	Decision Date:	01/08/2022
Location:	Alford House Stanhope Road N6 5AL		
Proposal:	Approval of details reserved by condition 4 (materials) attached to planning permission HGY/2019/1059.		
Application No:	HGY/2022/1871	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	08/08/2022
Location:	15 Broadlands Road N6 4AE		
Proposal:	Approval of details reserved by condition 3 (materials) and condition 5 (tree protection) attached to application HGY/2021/0048.		
Application No:	HGY/2022/1993	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	09/09/2022
Location:	Land Rear Of Tudor Close N6 5PR		
Proposal:	Approval of details pursuant to condition 12 (Secured by Design) attached to planning permission ref: HGY/2020/1460.		
Application No:	HGY/2022/2071	Officer:	Toby Williams
Decision:	GTD	Decision Date:	13/09/2022
Location:	Tree Tops Compton Avenue N6 4LH		
Proposal:	Approval of details pursuant to condition 3 (planting plan) attached to planning permission HGY/2021/2577		
Application No:	HGY/2022/2072	Officer:	Toby Williams
Decision:	GTD	Decision Date:	12/09/2022
Location:	Tree Tops Compton Avenue N6 4LH		
Proposal:	Approval of details pursuant to condition 3 (planting plan) attached to planning permission HGY/2021/2477		
TPO Applications Decided:	3		
Application No:	HGY/2022/1807	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	05/09/2022
Location:	Flat 1 The Coach House 477 Archway Road N6 4HX		
Proposal:	Works to tree protected by a TPO: 1 Common Lime - Reduce crown to previous (outermost) pruning points removing approximately 2.5 metres branch length. Remove basal and epicormic growth to crown break point and lift crown to 5 metres height.		

Application No: **HGY/2022/1870** Officer: Matthew Gunning
 Decision: GTD Decision Date: 14/09/2022
 Location: 42 Southwood Avenue N6 5RZ
 Proposal: Works to tree protected by a TPO.
 Mature Bay (hedge line): Approximately 9.00m: (Overhanging from No.44 Southwood Avenue).
 Reduce lateral and sub lateral overhanging branches by up to 1.25m to as near to the boundary as is practicable. Control encroachment.

Application No: **HGY/2022/1872** Officer: Matthew Gunning
 Decision: GTD Decision Date: 14/09/2022
 Location: 12 North Grove N6 4SL
 Proposal: Works to tree protected by a TPO:
 Front Garden: T1: Lombardy Poplar: Section fell to ground level and grind stump to approximately 300mm below current ground level as is practicable. Reason: Basal decay.

CLDE Applications Decided: 1

Application No: **HGY/2022/1610** Officer: Zara Seelig
 Decision: GTD Decision Date: 27/07/2022
 Location: Flat A 25 High Street N8 7QB
 Proposal: Certificate of lawfulness for the existing use of the building as 3 self-contained flats.

CLUP Applications Decided: 4

Application No: **HGY/2022/1476** Officer: Martin Cowie
 Decision: PERM DEV Decision Date: 13/07/2022
 Location: 11 Warner Road N8 7HB
 Proposal: Certificate of lawfulness for a proposed infill extension to side of property.

Application No: **HGY/2022/1533** Officer: Valerie Okeiyi
 Decision: PERM DEV Decision Date: 04/07/2022
 Location: 19 Priory Road N8 8LH
 Proposal: Certificate of Lawfulness for erection of a rear dormers and rooflight to the front elevation (proposed).

Application No: **HGY/2022/1621** Officer: Toby Williams
 Decision: PERM DEV Decision Date: 26/07/2022
 Location: 14 Clovelly Road N8 7RH
 Proposal: Certificate of lawfulness for the erection of an L-shaped rear dormer extension with the inclusion of a juliet balcony. 3 additional rooflights to the front roof slope.

Application No: **HGY/2022/2338** Officer: Oskar Gregersen
 Decision: PERM DEV Decision Date: 13/09/2022
 Location: 42 Clovelly Road N8 7RH
 Proposal: Certificate of lawfulness: Formation of L-Shaped rear dormer and installation of 2 roof-lights on front slope.

FUL Applications Decided: 6

Application No:	HGY/2022/1440	Officer:	Toby Williams
Decision:	GTD	Decision Date:	12/07/2022
Location:	10 Harold Road N8 7DE		
Proposal:	Proposed lower ground floor side infill, roof alterations, window replacement, floor plan redesign and all associated works at 10 Harold Road.		
Application No:	HGY/2022/1513	Officer:	James Mead
Decision:	GTD	Decision Date:	19/07/2022
Location:	100 Rathcoole Gardens N8 9PG		
Proposal:	Demolition of the existing garden outbuilding and erection of a ground floor rear extension. General refurbishment works throughout and insertion of two new side windows.		
Application No:	HGY/2022/1656	Officer:	James Mead
Decision:	GTD	Decision Date:	27/07/2022
Location:	302 Park Road N8 8LA		
Proposal:	Formation of 1 x flat (1 bedroom) within the roofspace of the building, including: installation of front rooflights and addition of rear dormer with terrace.		
Application No:	HGY/2022/1934	Officer:	Emily Whittredge
Decision:	REF	Decision Date:	16/08/2022
Location:	Flat A 117 Nelson Road N8 9RR		
Proposal:	Single storey rear and side return extension. First floor rear bay window. Replacement of front ground floor uPVC glazing with traditional style. Recess and replace uPVC front door with traditional timber door.		
Application No:	HGY/2022/1953	Officer:	Mark Chan
Decision:	GTD	Decision Date:	16/09/2022
Location:	18 Linzee Road N8 7RE		
Proposal:	Erection of a single storey infill rear extension.		
Application No:	HGY/2022/1980	Officer:	Conor Guilfoyle
Decision:	GTD	Decision Date:	26/08/2022
Location:	127 North View Road N8 7LR		
Proposal:	Erection of rear and side dormer roof extensions; Alterations to rear and side elevation materials and glazing; Insertion of roof light to existing single storey rear infill extension.		

LCD Applications Decided: 1

Application No:	HGY/2022/1768	Officer:	Tania Skelli
Decision:	GTD	Decision Date:	17/08/2022
Location:	Rokesly Infants School 60 Rokesly Avenue N8 8NH		
Proposal:	Replacement of no. 12 single glazed windows with double glazed units on the main building of Rokesly Junior School block and replacement of no. 2 doors with new units to match the existing ones		

NON Applications Decided: 1

Application No:	HGY/2022/1975	Officer:	Toby Williams
Decision:	GTD	Decision Date:	01/08/2022
Location:	Spring Apartments 40 Nightingale Lane N8 7QU		
Proposal:	Non-Material Amendment sought to planning permission HGY/2022/0835 to amend incorrect drawing numbers in the officers report and thus amend Condition 2.		

ADV Applications Decided: 1

Application No: **HGY/2022/1899** Officer: James Mead
 Decision: GTD Decision Date: 25/08/2022
 Location: 174 Muswell Hill Broadway N10 3SA
 Proposal: Advertisement consent for installation of fascia signage (non-illuminated) and a projecting sign (externally illuminated).

CLDE Applications Decided: 2

Application No: **HGY/2022/1675** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 03/08/2022
 Location: 400 Muswell Hill Broadway N10 1DJ
 Proposal: Certificate of lawfulness for the existing use of the upper floors of the building as a residential maisonette (Class C3 Use).

Application No: **HGY/2022/1757** Officer: Laina Levassor
 Decision: GTD Decision Date: 08/08/2022
 Location: Land to rear of 10-12 St James's Lane N10 3DB
 Proposal: Certificate of Lawfulness to confirm that works that have been undertaken on site constitute material operations (in accordance with section 56 of the Town and Country Planning Act 1990) and consequently that planning permission (ref: HGY/2011/1550) has been implemented

CLUP Applications Decided: 2

Application No: **HGY/2022/1395** Officer: Matthew Gunning
 Decision: PERM DEV Decision Date: 07/07/2022
 Location: 92 Cranley Gardens N10 3AH
 Proposal: Certificate of lawfulness: proposed use: minor alterations to roof form of single-family dwelling, by way of replacing current mansard conditions along party wall with No 90.

Application No: **HGY/2022/2080** Officer: Samuel Uff
 Decision: PERM DEV Decision Date: 22/08/2022
 Location: 90 Cranley Gardens N10 3AH
 Proposal: Certificate of lawfulness for proposed side roof extension.

FUL Applications Decided: 16

Application No: **HGY/2022/1316** Officer: Tania Skelli
 Decision: GTD Decision Date: 30/06/2022
 Location: Telephone Box Queens Avenue N10 1DD
 Proposal: Change of use from 1no. BT telephone box to 1no. self-contained retail unit. Removal of handset and installation of a stationary dispenser.

Application No: **HGY/2022/1415** Officer: James Mead
 Decision: GTD Decision Date: 12/07/2022
 Location: 5 Firs Avenue N10 3LY
 Proposal: Demolition of existing lower/upper ground floor rear projections; erection of two storey rear extension at lower/upper ground floor levels; installation of rear dormer, insertion of two front rooflights and replacement of existing windows with new double glazed timber windows.

Application No: **HGY/2022/1649** Officer: Oskar Gregersen
 Decision: GTD Decision Date: 02/08/2022
 Location: 291 Muswell Hill Broadway N10 1BY
 Proposal: Retrospective application for the installation of 1 number roof light on the rear elevation to provide natural light to the stairway.

Application No:	HGY/2022/1698	Officer:	Toby Williams
Decision:	GTD	Decision Date:	01/08/2022
Location:	1 Onslow Gardens N10 3JT		
Proposal:	Erection of a single storey rear infill kitchen extension.		
Application No:	HGY/2022/1731	Officer:	James Mead
Decision:	GTD	Decision Date:	26/08/2022
Location:	Flat 1 21 Woodland Gardens N10 3UE		
Proposal:	Erection of single storey rear extension, addition of new rear doors and creation of raised patio with steps.		
Application No:	HGY/2022/1802	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	22/08/2022
Location:	88 Muswell Hill Broadway N10 3RX		
Proposal:	Replacement of external self service machines.		
Application No:	HGY/2022/1885	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	18/08/2022
Location:	5 Wellfield Avenue N10 2EA		
Proposal:	Demolition of existing conservatory. Replacement ground floor rear extension.		
Application No:	HGY/2022/1924	Officer:	James Mead
Decision:	GTD	Decision Date:	16/08/2022
Location:	Flat A 46 Cranley Gardens N10 3AL		
Proposal:	Erection of single storey side and rear extension, alterations to fenestration, incorporation of hard landscaping and installation of new fence/boundary treatment.		
Application No:	HGY/2022/1942	Officer:	James Mead
Decision:	GTD	Decision Date:	30/08/2022
Location:	Flat 1 15 Wellfield Avenue N10 2EA		
Proposal:	Single storey extension, roof reconfiguration/extension and other external alterations to existing garage. Enlarged outbuilding to be used as studio/office incidental to the existing property.		
Application No:	HGY/2022/1952	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	24/08/2022
Location:	Flat 1 46 Onslow Gardens N10 3JX		
Proposal:	Proposed single storey rear/side infill extension to ground floor garden flat with green roof and associated internal works.		
Application No:	HGY/2022/1998	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	08/09/2022
Location:	25 Alexandra Gardens N10 3RN		
Proposal:	Change of roof form, including L-Shaped dormer and raising of ridge to allow for a loft conversion with front facing roof lights.		
Application No:	HGY/2022/2027	Officer:	Toby Williams
Decision:	REF	Decision Date:	01/09/2022
Location:	26 Connaught Gardens N10 3LB		
Proposal:	Demolition of garage and erection of two storey side extension in its place.		

Application No: **HGY/2022/2047** Officer: Toby Williams
 Decision: GTD Decision Date: 12/09/2022
 Location: Flat 1 332 Dukes Mews N10 2QN
 Proposal: Retrospective planning application to regularise a single storey outbuilding.

Application No: **HGY/2022/2077** Officer: Toby Williams
 Decision: GTD Decision Date: 22/09/2022
 Location: 24 Cranley Gardens N10 3AP
 Proposal: Rear side extension, Roof extension including balcony and other internal alterations

Application No: **HGY/2022/2121** Officer: Toby Williams
 Decision: GTD Decision Date: 23/09/2022
 Location: Flat A 38 Hillfield Park N10 3QS
 Proposal: Replacement door and window to rear ground floor kitchen.

Application No: **HGY/2022/2213** Officer: Toby Williams
 Decision: GTD Decision Date: 20/09/2022
 Location: 144 Cranley Gardens N10 3AH
 Proposal: Addition of a front porch and decoration to front gable.

NON Applications Decided: 1

Application No: **HGY/2022/2122** Officer: Matthew Gunning
 Decision: GTD Decision Date: 14/09/2022
 Location: Land to the Rear of 33 Muswell Hill N10 3PR
 Proposal: Non-material amendment application following a grant of planning permission HGY/2021/0603 (later amended by application reference: HGY/2022/0006) to make small adjustments to original positions and layout of windows and the London stock brick pattern and other associated small changes.

PNE Applications Decided: 1

Application No: **HGY/2022/1693** Officer: Toby Williams
 Decision: PN REFUSED Decision Date: 10/08/2022
 Location: 36 Connaught Gardens N10 3LB
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 4.7m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

ADV Applications Decided: 1

Application No: **HGY/2022/1887** Officer: Zara Seelig
 Decision: GTD Decision Date: 24/08/2022
 Location: 133 High Road N22 6BB
 Proposal: Advertisement consent application for a new fascia and sign, projecting sign, product strip and vinyl.

CLUP Applications Decided: 3

Application No: **HGY/2022/1748** Officer: Laina Levassor
 Decision: PERM DEV Decision Date: 02/08/2022
 Location: 655 Lordship Lane N22 5LA
 Proposal: Certificate of Lawfulness for proposed rear dormer extension.

Application No: **HGY/2022/2166** Officer: Neil McClellan
 Decision: PERM DEV Decision Date: 01/09/2022
 Location: 132 Hornsey Park Road N8 0JY
 Proposal: Certificate of Lawfulness for proposed dormer extensions to the main rear roof and outrigger and additional rooflight to front elevation.

Application No: **HGY/2022/2304** Officer: Emily Whittredge
 Decision: PERM DEV Decision Date: 15/09/2022
 Location: 23 Parkland Road N22 6SU
 Proposal: Certificate of lawfulness for a proposed hip to gable extension, rear dormer extension and the installation of front roof lights.

FUL Applications Decided: 6

Application No: **HGY/2022/0672** Officer: Matthew Gunning
 Decision: GTD Decision Date: 11/08/2022
 Location: Pavement outside 116 High Road N22 6HE
 Proposal: Installation of an open access Communication Hub following removal of existing telephone kiosk

Application No: **HGY/2022/1261** Officer: Emily Whittredge
 Decision: GTD Decision Date: 01/07/2022
 Location: 72 Hewitt Avenue N22 6QD
 Proposal: Installation of roof windows to rear roof slope to facilitate a loft conversion (AMENDED)

Application No: **HGY/2022/1502** Officer: Zara Seelig
 Decision: GTD Decision Date: 19/07/2022
 Location: 106 Farrant Avenue N22 6PE
 Proposal: Erection of single storey rear side (side return) extension. Replace the windows to a new sash windows.

Application No: **HGY/2022/1616** Officer: Zara Seelig
 Decision: GTD Decision Date: 04/08/2022
 Location: 26 Waldegrave Road N8 0QA
 Proposal: Ground floor infill side extension

Application No: **HGY/2022/1638** Officer: Zara Seelig
 Decision: GTD Decision Date: 21/07/2022
 Location: Telephone Exchange 661 Lordship Lane N22 5LA
 Proposal: Installation of louvres within existing window openings as part of ventilation works.

Application No: **HGY/2022/1758** Officer: Gareth Prosser
 Decision: REF Decision Date: 10/08/2022
 Location: Flat A 38 Alexandra Road N8 0PP
 Proposal: Erection of rear garden shed

RES Applications Decided: 16

Application No: **HGY/2022/1457** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 07/07/2022
 Location: Land at the Chocolate Factory and Parma House, 5 Clarendon Road N22 6XJ
 Proposal: Approval of details pursuant to condition 16 partial discharge (Sustainable Drainage) of planning permission HGY/2017/3020 and pursuant to condition 16 (Sustainable Drainage) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Block E2 only

Application No: **HGY/2022/1458** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 07/07/2022
 Location: Land at the Chocolate Factory and Parma House, 5 Clarendon Road N22 6XJ
 Proposal: Approval of details pursuant to condition 17 partial discharge (Drainage Management Maintenance Schedule) of planning permission HGY/2017/3020 and pursuant to condition 17 (Drainage Management Maintenance Schedule) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Blocks E2 only

Application No: **HGY/2022/1461** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 07/07/2022
 Location: Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road, N8
 Proposal: Approval of details pursuant to Part B of condition 51 - partial discharge (Secured by Design) of planning permission HGY/2017/3117 in relation to Block B1 only

Application No: **HGY/2022/1462** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 27/07/2022
 Location: Land at the Chocolate Factory and Parma House, 5 Clarendon Road N22 6XJ
 Proposal: Approval of details pursuant to condition 19 - partial discharge (Contaminated land 1) of planning permission HGY/2017/3020 and pursuant to condition 19 (Contaminated land 1) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Blocks E2 only

Application No: **HGY/2022/1463** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 07/07/2022
 Location: Land at the Chocolate Factory and Parma House, 5 Clarendon Road N22 6XJ
 Proposal: Approval of details pursuant to condition 12 - partial discharge (Crossrail 2 Operations Protection) of planning permission HGY/2017/3020 and pursuant to condition 12 (Crossrail 2 Operations Protection) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Block E2 only

Application No: **HGY/2022/1464** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 30/08/2022
 Location: Land at the Chocolate Factory and Parma House, 5 Clarendon Road N22 6XJ
 Proposal: Approval of details pursuant to condition 37 - partial discharge (Central Satellite Dish) of planning permission HGY/2017/3020 and pursuant to condition 37 (Central Satellite Dish) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Block E2 only.

Application No: **HGY/2022/1465** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 23/06/2022
 Location: Land at the Chocolate Factory and Parma House, 5 Clarendon Road N22 6XJ

Proposal:	Approval of details pursuant to condition 13 - partial discharge (Piling) of planning permission HGY/2017/3020 and pursuant to condition 13 (Piling) of the 2nd S96a Planning Permission reference HGY/2022/1257 in relation to Block E2 only		
Application No:	HGY/2022/1706	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	07/07/2022
Location:	Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road No		
Proposal:	Approval of details pursuant to condition 60 (Landscape Management Plan) attached to planning permission HGY/2017/3117 (Partial discharge in relation to Blocks E1, E2 and E3)		
Application No:	HGY/2022/1707	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	12/09/2022
Location:	Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road No		
Proposal:	Approval of details pursuant to condition 2 (Design Details) of planning permission HGY/2020/1851 in relation to buildings E1, E2 and E3		
Application No:	HGY/2022/1709	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	12/09/2022
Location:	Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road No		
Proposal:	Approval of details pursuant to condition 57 (Materials) attached to planning permission HGY/2017/3117 in relation to Blocks E1, E2 and E3 only		
Application No:	HGY/2022/1834	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	09/08/2022
Location:	Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road No		
Proposal:	Approval of details pursuant to condition 31 (CON 2) - partial discharge (Land contamination) of planning permission HGY/2017/3117 relating to buildings B1 and B2 only		
Application No:	HGY/2022/1849	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	22/09/2022
Location:	Land at the Chocolate Factory and Parma House, 5 Clarendon Road N22 6XJ		
Proposal:	Approval of details pursuant to condition 41 partial discharge (Residential Design Standards) of planning permission HGY/2017/3020 and pursuant to condition 41 (Residential Design Standards) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Block E2 only		
Application No:	HGY/2022/1851	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	16/09/2022
Location:	Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road No		
Proposal:	Approval of details pursuant to condition 58 - partial discharge (CCTV and Security Lighting) of planning permission HGY/2017/3117 in relation to Blocks E1, E2 and E3 only		
Application No:	HGY/2022/1984	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	16/09/2022
Location:	Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road No		
Proposal:	Approval of details pursuant to condition 45 - partial discharge (Affordable Housing Strategy) of planning permission HGY/2017/3117 in relation to Blocks E1, E2 and E3 only		
Application No:	HGY/2022/1985	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	12/09/2022
Location:	Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road No		
Proposal:	Approval of details pursuant to condition 46 - partial discharge (Fibre Broadband Strategy) of planning permission HGY/2017/3117 in relation to Blocks E1, E2 and E3 only.		

Application No: **HGY/2022/1987** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 09/09/2022
 Location: Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road, Coburg Road, Western Road and the Kings Cross / East Coast Mainline, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road N8
 Proposal: Approval of details (partial) pursuant to Part B of condition 51 (Secured by Design) of planning permission HGY/2017/3117 relating to building B2 only

CLUP Applications Decided: 3

Application No: **HGY/2022/2004** Officer: Laina Levassor
 Decision: PERM REQ Decision Date: 26/08/2022
 Location: 8 Chalgrove Road N17 0NP
 Proposal: Certificate of lawfulness for the proposed change of use from C3a (single family dwelling) to C3b (supported shared housing)

Application No: **HGY/2022/2093** Officer: Oskar Gregersen
 Decision: PERM DEV Decision Date: 15/08/2022
 Location: 211 Lansdowne Road N17 0NU
 Proposal: Certificate of lawfulness: Erection of a single storey rear outbuilding, and rear dormer extension to facilitate a loft conversion with 3x front facing roof lights

Application No: **HGY/2022/2378** Officer: Oskar Gregersen
 Decision: PERM DEV Decision Date: 21/09/2022
 Location: 93 Poynton Road N17 9SJ
 Proposal: Certificate of lawfulness for proposed formation of rear dormer roof extension and insertion of roof lights to the front roof slope.

FUL Applications Decided: 2

Application No: **HGY/2022/1941** Officer: Oskar Gregersen
 Decision: GTD Decision Date: 31/08/2022
 Location: 35 Chalgrove Road N17 0NS
 Proposal: Erection of single storey rear extension with rear side outbuilding (garage). Internal and external alterations.

Application No: **HGY/2022/2104** Officer: Zara Seelig
 Decision: GTD Decision Date: 12/09/2022
 Location: Unit 10a Northumberland Park Industrial Estate Willoughby Lane N17 0YL
 Proposal: Change of use of existing first floor managers office/staff/waiting room as two independent offices.

HHF Applications Decided: 1

Application No: **HGY/2022/1754** Officer: Zara Seelig
 Decision: REF Decision Date: 16/08/2022
 Location: 93 Poynton Road N17 9SJ
 Proposal: First floor rear extension.

PNE Applications Decided: 3

Application No: **HGY/2022/1585** Officer: Oskar Gregersen
 Decision: PN NOT REQ Decision Date: 20/07/2022
 Location: 52 Coniston Road N17 0EX
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.15m and for which the height of the eaves would be 3m

Application No:	HGY/2022/1718	Officer:	Toby Williams
Decision:	PN NOT REQ	Decision Date:	11/08/2022
Location:	93 Poynton Road N17 9SJ		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.2m and for which the height of the eaves would be 2.95m.		
Application No:	HGY/2022/1869	Officer:	Toby Williams
Decision:	PN NOT REQ	Decision Date:	24/08/2022
Location:	24 Sutherland Road N17 0BN		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 3m.		

RES Applications Decided: 1

Application No:	HGY/2022/1728	Officer:	Martin Cowie
Decision:	GTD	Decision Date:	24/08/2022
Location:	29-41 Worcester Avenue N17 0TU		
Proposal:	Application for approval of details pursuant to Condition 1 (Air Quality Assessment) attached to planning permission HGY/2020/2730 approved on 06.08.2021, for Non-Material Amendments to planning permission HGY/2019/2519 involving the demolition of seven residential dwellings at 29-41 Worcester Avenue, Tottenham to provide coach parking, and disabled car parking serving a future Community Health Centre.		

CLDE Applications Decided: 2

Application No:	HGY/2022/1640	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	25/07/2022
Location:	36 Abbotsford Avenue N15 3BS		
Proposal:	Use of property as 5 self-contained flats (certificate of lawfulness: existing use)		
Application No:	HGY/2022/1893	Officer:	Mercy Oruwari
Decision:	REF	Decision Date:	22/08/2022
Location:	164 Cornwall Road N15 5AU		
Proposal:	Certificate of lawfulness for the existing use of the rear ground floor as a separate flat.		

CLFA Applications Decided: 1

Application No:	HGY/2022/1940	Officer:	Emily Whittredge
Decision:	PERM REQ	Decision Date:	28/07/2022
Location:	80 Avondale Road N15 3SH		
Proposal:	Change of use from C3(a) to C3(b) supported housing (Certificate of lawfulness)		

CLUP Applications Decided: 6

Application No:	HGY/2022/1473	Officer:	Martin Cowie
Decision:	PERM DEV	Decision Date:	07/07/2022
Location:	13 Gorleston Road N15 5QR		
Proposal:	Rear dormer roof extension and installation of 3 rooflights to front roof slope (Certificate of Lawfulness: proposed use).		

Application No: **HGY/2022/1647** Officer: Oskar Gregersen
 Decision: PERM DEV Decision Date: 01/08/2022
 Location: 11 Cranleigh Road N15 3AB
 Proposal: Certificate of lawfulness: Formation of rear dormer, and installation of front rooflights

Application No: **HGY/2022/1889** Officer: Emily Whittredge
 Decision: PERM DEV Decision Date: 22/07/2022
 Location: 103 Glenwood Road N15 3JS
 Proposal: Loft conversion with rear dormer and outrigger extensions and front roof lights (Certificate of lawfulness)

Application No: **HGY/2022/1905** Officer: Emily Whittredge
 Decision: PERM DEV Decision Date: 22/07/2022
 Location: 72 Ida Road N15 5JN
 Proposal: Single storey rear extension (Certificate of lawfulness)

Application No: **HGY/2022/1909** Officer: Emily Whittredge
 Decision: PERM REQ Decision Date: 28/07/2022
 Location: 41 Harringay Road N15 3JB
 Proposal: Certificate of lawfulness for a proposed L-shaped dormer loft extension and internal alterations.

Application No: **HGY/2022/2307** Officer: Zara Seelig
 Decision: PERM DEV Decision Date: 21/09/2022
 Location: 1 Falmer Road N15 5BA
 Proposal: Certificate of lawfulness for a proposed loft conversion comprising a rear dormer with a juliet balcony and front roof lights.

FUL Applications Decided: 3

Application No: **HGY/2022/1825** Officer: Sarah Madondo
 Decision: GTD Decision Date: 25/08/2022
 Location: First Floor Flat 11 Abbotsford Avenue N15 3BT
 Proposal: Erection of a rear dormer to facilitate a loft conversion

Application No: **HGY/2022/1946** Officer: Emily Whittredge
 Decision: REF Decision Date: 19/08/2022
 Location: 372 St Anns Road N15 3ST
 Proposal: Loft conversion including rear dormer and outrigger extensions and front rooflights

Application No: **HGY/2022/2013** Officer: Sarah Madondo
 Decision: GTD Decision Date: 06/09/2022
 Location: 7 Terront Road N15 3AA
 Proposal: Ground Floor Single Storey Rear Extension

ADV Applications Decided: 1

Application No: **HGY/2022/1613** Officer: Christopher Smith
 Decision: GTD Decision Date: 19/08/2022
 Location: Apex Gardens 820 Seven Sisters Road N15 5EX
 Proposal: Consent to display an advertisement: 1 x Fascia Sign and 2 x Projecting Signs.

CLUP Applications Decided: 3

Application No: **HGY/2022/1913** Officer: Emily Whittredge
 Decision: PERM DEV Decision Date: 28/07/2022
 Location: 4 Thorpe Road N15 6NR
 Proposal: Loft conversion with rear dormer and outrigger extensions and front roof lights (Certificate of lawfulness)

Application No: **HGY/2022/2005** Officer: Laina Levassor
 Decision: PERM DEV Decision Date: 26/08/2022
 Location: 38 Elizabeth Road N15 5LG
 Proposal: Certificate of Lawfulness for proposed rear dormer and outrigger extensions.

Application No: **HGY/2022/2419** Officer: Neil McClellan
 Decision: PERM DEV Decision Date: 21/09/2022
 Location: 40 Plevna Crescent N15 6DN
 Proposal: Certificate of lawfulness for the proposed conversion of the property's integral garage into a habitable room and for the conversion of the loft including the erection of a dormer extension to the rear and the insertion of rooflights to the front.

FUL Applications Decided: 3

Application No: **HGY/2022/1780** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 15/09/2022
 Location: 60 Heysham Road N15 6HL
 Proposal: Erection of a rear dormer and roof extension including the insertion of 2x front rooflights and erection of external platform and staircase leading to the rear garden

Application No: **HGY/2022/1877** Officer: Laina Levassor
 Decision: GTD Decision Date: 30/08/2022
 Location: 83 Seaford Road N15 5DX
 Proposal: Erection of single storey rear extension.

Application No: **HGY/2022/1963** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 01/09/2022
 Location: 196 Seaford Road N15 5DS
 Proposal: Front and rear lightwell to existing basement

PNE Applications Decided: 1

Application No: **HGY/2022/2064** Officer: Toby Williams
 Decision: PN NOT REQ Decision Date: 15/09/2022
 Location: 92 Plevna Crescent N15 6DW
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 5.7m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

RES Applications Decided: 1

Application No: **HGY/2022/1663** Officer: Christopher Smith
 Decision: GTD Decision Date: 19/08/2022
 Location: Apex House 820 Seven Sisters Road N15 5PQ
 Proposal: Approval of details pursuant to condition 33 part b (shutter and signage strategy for the commercial units of the development) attached to HGY/2017/0967 as amended by HGY/2020/1871.

CLDE Applications Decided: 1

Application No: **HGY/2022/1927** Officer: Toby Williams
 Decision: GTD Decision Date: 07/09/2022
 Location: 64 Wellington Avenue N15 6BA
 Proposal: Certificate of lawfulness for existing use of the garage as an office ancillary to the main dwelling.

CLUP Applications Decided: 3

Application No: **HGY/2022/1730** Officer: Mercy Oruwari
 Decision: PERM REQ Decision Date: 07/07/2022
 Location: 15 Gladesmore Road N15 6TA
 Proposal: Certificate of lawfulness for an outrigger roof extension - proposed use

Application No: **HGY/2022/1792** Officer: Mercy Oruwari
 Decision: PERM DEV Decision Date: 12/07/2022
 Location: 15 Gladesmore Road N15 6TA
 Proposal: Certificate of lawfulness for an outrigger roof extension - proposed use.

Application No: **HGY/2022/2302** Officer: Emily Whittredge
 Decision: PERM DEV Decision Date: 12/09/2022
 Location: 59 Gladesmore Road N15 6TA
 Proposal: Rear roof extension (Certificate of lawfulness)

FUL Applications Decided: 10

Application No: **HGY/2022/0301** Officer: Neil McClellan
 Decision: REF Decision Date: 14/09/2022
 Location: 47 Wargrave Avenue N15 6UH
 Proposal: Erection of a 'Type 3 Loft' extension.

Application No: **HGY/2022/1501** Officer: Zara Seelig
 Decision: GTD Decision Date: 12/07/2022
 Location: 7 Cunningham Road N15 4DS
 Proposal: Single Storey Rear Extension and Internal Re-modelling Works

Application No: **HGY/2022/1591** Officer: Sarah Madondo
 Decision: REF Decision Date: 26/07/2022
 Location: 76-80 Leadale Road N15 6BH
 Proposal: Erection of a first floor as well type 3 loft extension to No 76 - 80, Ground floor rear extension to No 78.

Application No:	HGY/2022/1845	Officer:	Mercy Oruwari
Decision:	GTD	Decision Date:	16/09/2022
Location:	Flat 3 178 Page Green Terrace N15 4NS		
Proposal:	Amalgamation of ground floor apartment with a mezzanine bedsit.		
Application No:	HGY/2022/1863	Officer:	Kwaku Bossman-Gyamera
Decision:	GTD	Decision Date:	24/08/2022
Location:	94-96 Ferndale Road N15 6UQ		
Proposal:	Joint first floor rear extension at 94 & 96 Ferndale Road		
Application No:	HGY/2022/1865	Officer:	Kwaku Bossman-Gyamera
Decision:	REF	Decision Date:	25/08/2022
Location:	109 Wargrave Avenue N15 6TU		
Proposal:	Erection of a Type 3 roof extension including installation of PV Solar Panels to the front roof slope.		
Application No:	HGY/2022/1883	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	18/08/2022
Location:	19 Wargrave Avenue N15 6UH		
Proposal:	Erection of Type 3 Loft extension.		
Application No:	HGY/2022/1925	Officer:	Toby Williams
Decision:	REF	Decision Date:	30/08/2022
Location:	62-64 Wellington Avenue N15 6BA		
Proposal:	Part single storey rear extension at No.64 together with first floor rear extension across No.62 and 64 Wellington Avenue.		
Application No:	HGY/2022/2016	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	08/09/2022
Location:	17-19 Wargrave Avenue N15 6UH		
Proposal:	Joint First floor rear extension to No 17 - 19 Wargrave Avenue		
Application No:	HGY/2022/2066	Officer:	Toby Williams
Decision:	GTD	Decision Date:	13/09/2022
Location:	45 Gladesmore Road N15 6TA		
Proposal:	Ground floor wrap-around extension.		
NON Applications Decided: 1			
Application No:	HGY/2022/1660	Officer:	Christopher Smith
Decision:	GTD	Decision Date:	01/07/2022
Location:	Bernard Works Bernard Road N15 4NX		
Proposal:	Non-Material Amendment (NMA) S96a to the approved application dated 9th July 2018 application number HGY/2017/3584, to vary wording to Condition 21		

PNE Applications Decided: 3

Application No:	HGY/2022/1552	Officer:	Oskar Gregersen
Decision:	PN NOT REQ	Decision Date:	26/07/2022
Location:	11A Barry Avenue N15 6AD		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 3m		
Application No:	HGY/2022/1958	Officer:	Oskar Gregersen
Decision:	PN NOT REQ	Decision Date:	07/09/2022
Location:	113 Leadale Road N15 6BJ		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.48m and for which the height of the eaves would be 3m		
Application No:	HGY/2022/1971	Officer:	Oskar Gregersen
Decision:	PN NOT REQ	Decision Date:	08/09/2022
Location:	9 Grovelands Road N15 6BT		
Proposal:	Erection of a single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 2.97m and for which the height of the eaves would be 2.9m		

RES Applications Decided: 1

Application No:	HGY/2022/1903	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	30/08/2022
Location:	Land adjacent to 1 Lealand Road N15 6JS		
Proposal:	Approval of details reserved by condition 14 (Building Regulations Part M4(1), (2) & (3) attached to planning reference HGY/2020/2393.		

FUL Applications Decided: 14

Application No:	HGY/2022/1284	Officer:	Toby Williams
Decision:	GTD	Decision Date:	28/06/2022
Location:	19 Quernmore Road N4 4QT		
Proposal:	Loft conversion with erection of rear dormer & 3 x front rooflights. Enlargement of 1st floor bedroom window at rear.		
Application No:	HGY/2022/1307	Officer:	Toby Williams
Decision:	GTD	Decision Date:	28/06/2022
Location:	103 Woodstock Road N4 3EU		
Proposal:	Second floor rear extension over existing outrigger. Rear ground floor sash window adapted into French doors.		
Application No:	HGY/2022/1574	Officer:	James Mead
Decision:	REF	Decision Date:	09/08/2022
Location:	Ground Floor Flat 56 Lancaster Road N4 4PT		
Proposal:	Construction of single storey side and rear extension.		
Application No:	HGY/2022/1623	Officer:	Toby Williams
Decision:	GTD	Decision Date:	26/07/2022
Location:	First Floor Flat C 114 Stapleton Hall Road N4 4QA		
Proposal:	Replace 2 windows (including 1 bay window consisting of 3 windows) to frontage facing Stapleton Hall Road with double glazed sash timber to match existing.		

Application No:	HGY/2022/1635	Officer:	James Mead
Decision:	GTD	Decision Date:	17/08/2022
Location:	13 Cornwall Road N4 4PH		
Proposal:	Removal of existing lean to rear extension, remodeling of existing single storey rear extension, erection of single storey rear extension, erection of lean-to single storey side extension and addition of rear dormer.		
Application No:	HGY/2022/1798	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	16/08/2022
Location:	4 Bridgemount Mews Mount Pleasant Villas N4 4AG		
Proposal:	Addition of a roof terrace to the existing flat roof with glass balustrade and glass roof access.		
Application No:	HGY/2022/1816	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	11/08/2022
Location:	41 Nelson Road N8 9RX		
Proposal:	Proposed new basement and renewal of existing extant permissions for the construction of a part single-storey, part two-storey, part three-storey rear extension to existing flats.		
Application No:	HGY/2022/1879	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	30/08/2022
Location:	Flat 1 7 Upper Tollington Park N4 3EJ		
Proposal:	Erection of a single storey rear extension at ground floor; insertion of two windows to flank wall at ground floor to Osborne Road.		
Application No:	HGY/2022/1912	Officer:	Toby Williams
Decision:	GTD	Decision Date:	23/08/2022
Location:	Flat A 56 Upper Tollington Park N4 4BX		
Proposal:	Erection of a single storey side in-fill extension at 56A Upper Tollington Park		
Application No:	HGY/2022/1974	Officer:	Toby Williams
Decision:	GTD	Decision Date:	26/08/2022
Location:	Flat B 33 Cornwall Road N4 4PH		
Proposal:	Replacing damaged single glazed bay window at front of property with like for like wooden sash windows with double glazed glass.		
Application No:	HGY/2022/1999	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	07/09/2022
Location:	10 Denton Road N8 9NS		
Proposal:	Erection of single-storey rear infill extension, demolition and replacement of existing outrigger, retention of existing rear first floor terrace, installation of new balustrade.		
Application No:	HGY/2022/2002	Officer:	Ben Coffie
Decision:	GTD	Decision Date:	16/09/2022
Location:	30 Ridge Road N8 9LH		
Proposal:	Loft conversion. Rear Dormer and Front Window Dormer		
Application No:	HGY/2022/2052	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	05/09/2022
Location:	Ground Floor Flat 52 Ridge Road N8 9LH		

Proposal: Refurbishment and replacement of existing conservatory at back garden. Current structure is 2.75m x 3.75m, and proposed structure will be 3.5m x 4.9m. The maximum height of the proposed structure is 3.05m and slopes down to 2.6m, in comparison to the existing conservatory which is 2.85m in maximum height. The materials are London stock brick, UPVC windows or aluminium double glazing and a zinc roof with double glazed patent glazing to allow light into the kitchen. The new double doors will allow a better relationship with the patio garden.

Application No: **HGY/2022/2065** **Officer:** Toby Williams

Decision: GTD **Decision Date:** 12/09/2022

Location: 38 Denton Road N8 9NS

Proposal: Rear infill extension.

RES Applications Decided: 2

Application No: **HGY/2022/1854** **Officer:** Matthew Gunning

Decision: GTD **Decision Date:** 09/08/2022

Location: 24 Mount Pleasant Crescent N4 4HP

Proposal: Approval of details reserved by condition 6 (screening to roof terrace) attached to planning permission HGY/2021/2682.

Application No: **HGY/2022/1997** **Officer:** Matthew Gunning

Decision: GTD **Decision Date:** 15/09/2022

Location: 2A Lancaster Road N4 4PP

Proposal: Approval of details pursuant to condition 3 (Materials) attached to planning permission HGY/2018/3294.

TPO Applications Decided: 1

Application No: **HGY/2022/1466** **Officer:** Matthew Gunning

Decision: REF **Decision Date:** 02/08/2022

Location: 2 Ossian Road N4 4EA

Proposal: Works to tree protected by a TPO: T1 Pine - remove to allow the removal and replacement of an adjacent boundary wall and associated foundations

(Works to T2 and T3 are being considered under Section 211 Notice ref CON/2022/0230)

ADV Applications Decided: 1

Application No: **HGY/2022/1147** **Officer:** Emma McCready

Decision: GTD **Decision Date:** 01/08/2022

Location: 120A-122 West Green Road N15 5AA

Proposal: Installation of two new fascia signs and one projecting sign with external illumination.

CLDE Applications Decided: 2

Application No: **HGY/2022/1646** **Officer:** Oskar Gregersen

Decision: GTD **Decision Date:** 26/07/2022

Location: 92 Ranelagh Road N17 6XT

Proposal: Certificate of lawfulness: existing use of site as three self-contained flats.

Application No: **HGY/2022/2265** Officer: Laina Levassor
 Decision: GTD Decision Date: 08/09/2022
 Location: 60 Ranelagh Road N17 6XU
 Proposal: Certificate of Lawfulness for the existing use of the property as a C4 HMO for up to 6 occupants.

CLUP Applications Decided: 2

Application No: **HGY/2022/1669** Officer: Zara Seelig
 Decision: PERM DEV Decision Date: 02/08/2022
 Location: 38 Mansfield Avenue N15 4HW
 Proposal: Rear dormer with rooflights on front slope (certificate of lawfulness: proposed use).

Application No: **HGY/2022/2081** Officer: Samuel Uff
 Decision: PERM DEV Decision Date: 18/08/2022
 Location: 6 Belton Road N17 6YF
 Proposal: Certificate of lawfulness for proposed roof extensions.

FUL Applications Decided: 4

Application No: **HGY/2022/1146** Officer: Emily Whittredge
 Decision: GTD Decision Date: 01/08/2022
 Location: 120A-122 West Green Road N15 5AA
 Proposal: Change of use from Betting Shop (Sui Generis) to cafe, restaurant and wine bar with ancillary retail (Class E Use); alterations to the shop front and installation of ventilation equipment to the rear.

Application No: **HGY/2022/1776** Officer: Mercy Oruwari
 Decision: GTD Decision Date: 15/09/2022
 Location: First Floor Flat 71 Dongola Road N17 6EB
 Proposal: Erection of rear dormer including the installation of 2x front rooflights

Application No: **HGY/2022/1837** Officer: Emily Whittredge
 Decision: GTD Decision Date: 23/08/2022
 Location: 35 The Avenue N17 6TB
 Proposal: Replacement of single glazed timber windows with double glazed uPVC units on the front and rear elevations, finished in white foil to match the existing windows. Replacement of front entrance door with new timber pannelled door, and replacement of any rear glass panels doors with new uPVC glass panels doors. Replacement of existing roof covering with new artificial slates covering

Application No: **HGY/2022/1838** Officer: Emily Whittredge
 Decision: GTD Decision Date: 23/08/2022
 Location: 41 The Avenue N17 6TB
 Proposal: Replacement of single glazed timber windows with double glazed uPVC units on the front and rear elevations, finished in white foil to match the existing windows. Replacement of front entrance door with new timber pannelled door, and replacement of any rear glass panels doors with new uPVC glass panels doors. Replacement of existing roof covering with new artificial slates covering

PNE Applications Decided: 1

Application No: **HGY/2022/1844** Officer: Toby Williams
 Decision: PN NOT REQ Decision Date: 24/08/2022
 Location: 38 Higham Road N17 6NQ
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 3.2m and for which the height of the eaves would be 2.8m

RES Applications Decided: 2

Application No: **HGY/2022/1454** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 19/07/2022
 Location: Sterling House 67 Lawrence Road N15 4EY
 Proposal: Approval of details pursuant to condition 34 (Resident Steering Group) of planning permission HGY/2018/3655 and pursuant to condition 34 (Resident Steering Group) of the second 96a Planning Permission reference HGY/2020/2361

Application No: **HGY/2022/1708** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 21/09/2022
 Location: Sterling House 67 Lawrence Road N15 4EY
 Proposal: Approval of details pursuant to condition 4 (Boundary Treatment) of planning permission HGY/2018/3655 and pursuant to condition 4 (Boundary Treatment) of the first S96a Planning Permission reference HGY/2020/2361.

ADV Applications Decided: 1

Application No: **HGY/2022/1681** Officer: Zara Seelig
 Decision: GTD Decision Date: 15/08/2022
 Location: Unit RM20 Tottenham Hale Station Station Road N17 9NR
 Proposal: Installation of one internally illuminated fascia sign and one internally illuminated square projecting sign.

CLUP Applications Decided: 2

Application No: **HGY/2022/1506** Officer: Zara Seelig
 Decision: PERM DEV Decision Date: 14/07/2022
 Location: 106 Seymour Avenue N17 9ED
 Proposal: Installation of Velux windows (certificate of lawfulness: proposed use)

Application No: **HGY/2022/1914** Officer: Emily Whittredge
 Decision: PERM DEV Decision Date: 27/07/2022
 Location: 80 Park View Road N17 9DP
 Proposal: Rear dormer and front roof lights (Certificate of lawfulness)

FUL Applications Decided: 2

Application No: **HGY/2022/1680** Officer: Zara Seelig
 Decision: GTD Decision Date: 15/08/2022
 Location: Unit RM20 Tottenham Hale Station Station Road N17 9NR
 Proposal: Full planning permission for shopfront alterations

Application No: **HGY/2022/2035** Officer: Kwaku Bossman-Gyamera
 Decision: REF Decision Date: 13/09/2022
 Location: 71 Park View Road N17 9AX
 Proposal: Conversion of existing dwelling house into two self contained flats including a single storey rear extension

RES Applications Decided: 3

Application No: **HGY/2022/1672** Officer: Martin Cowie
 Decision: GTD Decision Date: 13/07/2022
 Location: Strategic Development Partnership (SDP) Sites Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West Station Road N17
 Proposal: Application for the partial approval of details pursuant to condition C15 - Part A (Secure by Design Accreditation) in relation to Plot C (Welbourne site) of the Tottenham Hale Centre planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019.

Application No: **HGY/2022/1699** Officer: Philip Elliott
 Decision: GTD Decision Date: 19/08/2022
 Location: Ashley Gardens Ashley Road N17 9LJ
 Proposal: Approval of details pursuant to condition 44 Part B (external materials) attached to planning permission HGY/2019/2804.

Application No: **HGY/2022/1704** Officer: Philip Elliott
 Decision: GTD Decision Date: 25/07/2022
 Location: Berol Yard Ashley Road N17 9LJ
 Proposal: Approval of details pursuant to Condition 35 (Landscape Design Proposals) attached to planning permission ref. HGY/2017/2044 (resubmission of relevant plans owing to addition of new vehicle bollards in public realm)

CLDE Applications Decided: 1

Application No: **HGY/2022/2123** Officer: Sabelle. Adjagboni
 Decision: GTD Decision Date: 22/08/2022
 Location: 44 Boundary Road N22 6AD
 Proposal: Certificate of lawfulness for the existing use of the property as a single-dwelling house.

CLUP Applications Decided: 3

Application No: **HGY/2022/1687** Officer: Oskar Gregersen
 Decision: PERM DEV Decision Date: 03/08/2022
 Location: 65 Waldeck Road N15 3EL
 Proposal: Certificate of lawfulness: Formation of rear dormer and outrigger extensions, and installation of two rooflights on the front slope.

Application No: **HGY/2022/1915** Officer: Emily Whittredge
 Decision: PERM DEV Decision Date: 28/07/2022
 Location: 235 Sirdar Road N22 6QU
 Proposal: Loft conversion with rear dormer and outrigger extensions and front roof lights (Certificate of lawfulness)

Application No: **HGY/2022/2279** Officer: Valerie Okeiyi
 Decision: PERM DEV Decision Date: 14/09/2022
 Location: 35 Crossfield Road N17 6AY
 Proposal: Certificate of Lawfulness for proposed dormer extensions to the rear roof slope and outrigger and the insertion of two rooflights to the front roof slope.

FUL Applications Decided: 10

Application No:	HGY/2022/1499	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	07/07/2022
Location:	87 Boundary Road N22 6AS		
Proposal:	Single storey, rear ground floor extension.		
Application No:	HGY/2022/1670	Officer:	Zara Seelig
Decision:	GTD	Decision Date:	05/08/2022
Location:	Flat C 22 Belmont Road N15 3LT		
Proposal:	The creation of a flat rear dormer to the roof of 22 Belmont Road plus four roof lights to the front. Flat C to be extended into the roof to create a two bedroomed apartment. An identical application was submitted and approved in 2017, reference HGY/2017/2950, which has since lapsed.		
Application No:	HGY/2022/1682	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	03/08/2022
Location:	92 Downhills Way N17 6BD		
Proposal:	Alterations to front garden to facilitate hardstanding with a dropped kerb. Demolition of existing rear extension and erection of full width rear extension.		
Application No:	HGY/2022/1696	Officer:	Toby Williams
Decision:	GTD	Decision Date:	04/08/2022
Location:	Caretakers House The Grove Downhills Park Road N17 6AR		
Proposal:	New red clay tiled mansard roof extension to match the main school roof and other changes including the removal of an existing chimney, the raising of the ridge and eaves by 20cm, the widening of the street entrance, the installation of a cast iron gate and railings, the addition of a new window opening, the replacement of all existing windows, the erection of a new external fire escape staircase with polycarbonate / glass roof and painted metal screen, and the installation of new wall mounted HVAC units.		
Application No:	HGY/2022/1778	Officer:	Mercy Oruwari
Decision:	REF	Decision Date:	01/08/2022
Location:	Flat B 74 Mannoek Road N22 6AA		
Proposal:	Erection of a rear dormer and roof extension including the insertion of 2x front rooflights.		
Application No:	HGY/2022/1857	Officer:	Kwaku Bossman-Gyamera
Decision:	REF	Decision Date:	09/08/2022
Location:	Public House 492 West Green Road N15 3DA		
Proposal:	Rear extension to existing mixed use building (Public house on the ground floor with residential use of the upper floors) and conversion of an existing loft space into a habitable mansard roof in order to provide a total of 5no. additional self-contained units.		
Application No:	HGY/2022/1910	Officer:	Toby Williams
Decision:	GTD	Decision Date:	12/08/2022
Location:	154 Carlingford Road N15 3EU		
Proposal:	Erection of single storey ground floor rear and side extension, internal alterations, removal of side door and 1 window, replaced with 1 new window.		
Application No:	HGY/2022/2012	Officer:	Laina Levassor
Decision:	GTD	Decision Date:	25/08/2022
Location:	Flat B 98 Carlingford Road N15 3ER		
Proposal:	Construction of rear dormer extension to facilitate loft conversion, with 3 rooflights to front elevation and rear roof terrace sited over original two storey outrigger		

Application No: **HGY/2022/2031** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 06/09/2022
 Location: 473 Lordship Lane N22 5DJ
 Proposal: Ground floor rear extension and internal alterations to create a new 1 bedroom flat.

Application No: **HGY/2022/2033** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 13/09/2022
 Location: First Floor Flat 473 Lordship Lane N22 5DJ
 Proposal: Loft conversion with a rear dormer window including associated first floor internal alterations

NON Applications Decided: 1

Application No: **HGY/2022/2145** Officer: Sarah Madondo
 Decision: GTD Decision Date: 31/08/2022
 Location: 135 Boundary Road N22 6AR
 Proposal: Non-material amendment application following a grant of planning permission HGY/2021/2655 for the use of square profile corrugated cladding, intermittent Iroko slate, relocation of the rear SVP and alteration of the ground level planters at the rear.

PNE Applications Decided: 1

Application No: **HGY/2022/1919** Officer: Toby Williams
 Decision: PN NOT REQ Decision Date: 25/08/2022
 Location: 17 Sirdar Road N22 6QP
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 3.95m and for which the height of the eaves would be 2.95m.

RES Applications Decided: 1

Application No: **HGY/2022/2018** Officer: Sarah Madondo
 Decision: GTD Decision Date: 21/09/2022
 Location: 105 Boundary Road N22 6AR
 Proposal: Approval of details reserved by a condition 3 (Refuse & Waste Storage) attached to planning reference HGY/2019/2433

CLDE Applications Decided: 1

Application No: **HGY/2022/1890** Officer: Mercy Oruwari
 Decision: REF Decision Date: 01/09/2022
 Location: 82 Granville Road N22 5LX
 Proposal: Certificate of lawfulness for the existing use of 5 self-contained flats

CLUP Applications Decided: 1

Application No: **HGY/2022/1531** Officer: Valerie Okeiyi
 Decision: PERM DEV Decision Date: 30/06/2022
 Location: 4 Bedwell Road N17 7AH
 Proposal: Certificate of Lawfulness for erection of a single storey rear extension (proposed)

FUL Applications Decided: 1

Application No: **HGY/2022/1932** Officer: Emily Whittredge
 Decision: GTD Decision Date: 30/08/2022
 Location: 3 Wateville Road N17 7PT
 Proposal: Single storey rear extension

PNE Applications Decided: 2

Application No: **HGY/2022/1573** Officer: Oskar Gregersen
 Decision: PN NOT REQ Decision Date: 27/07/2022
 Location: 115 Perth Road N22 5QH
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 4.3m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

Application No: **HGY/2022/2090** Officer: Toby Williams
 Decision: PN NOT REQ Decision Date: 20/09/2022
 Location: 80 Henningham Road N17 7AN
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 3.3m and for which the height of the eaves would be 3m.

RES Applications Decided: 3

Application No: **HGY/2022/1842** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 22/09/2022
 Location: 555 White Hart Lane N17 7RP
 Proposal: Approval of details pursuant to condition 18 (Land Contamination) attached to planning permission HGY/2020/0635

Application No: **HGY/2022/1843** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 09/09/2022
 Location: 555 White Hart Lane N17 7RP
 Proposal: Approval of details pursuant to condition 11 (Secure by design) attached to planning permission HGY/2020/0635

Application No: **HGY/2022/1943** Officer: Emily Whittredge
 Decision: GTD Decision Date: 19/08/2022
 Location: Land rear of 15-29 Risley Avenue N17 7HJ
 Proposal: Details of Method of Construction Statement pursuant to Condition 4 of planning permission HGY/2022/0018 for Redevelopment of car park and hard standing area to provide 4 units, associated amenity space, landscaping, refuse and cycling facilities

CLUP Applications Decided: 1

Application No: **HGY/2022/1338** Officer: Toby Williams
 Decision: PERM DEV Decision Date: 05/07/2022
 Location: 9 Maryland Road N22 5AR
 Proposal: Certificate of lawfulness: Loft conversion including the construction of a dormer on the rear outrigger. Addition of two rooflights to the front roofslope.

FUL Applications Decided: 4

Application No: **HGY/2022/1617** Officer: Zara Seelig
 Decision: GTD Decision Date: 29/07/2022
 Location: 23 Forfar Road N22 5QE
 Proposal: Ground floor single storey rear extension

Application No: **HGY/2022/1645** Officer: Zara Seelig
 Decision: GTD Decision Date: 01/08/2022
 Location: 32 Gathorne Road N22 5ND
 Proposal: Erection of single storey rear extension.

Application No: **HGY/2022/2037** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 13/09/2022
 Location: 92 Palmerston Road N22 8RF
 Proposal: Formation of rear outbuilding

Application No: **HGY/2022/2101** Officer: Kwaku Bossman-Gyamera
 Decision: GTD Decision Date: 16/09/2022
 Location: St Thomas More Catholic School Glendale Avenue N22 5HN
 Proposal: First floor extension to newly constructed St Thomas More Centre, to provide one classroom, one common room, one DDA access lift, two offices, and access.

LBC Applications Decided: 1

Application No: **HGY/2022/1515** Officer: Elisabetta Tonazzi
 Decision: GTD Decision Date: 12/09/2022
 Location: Civic Centre High Road N22 8ZW
 Proposal: Listed building consent for installation of a temporary 500kg materials hoist externally on the northern stair core of the Civic Centre, strip out of existing lift cars and sanitaryware throughout, removal of partitions and planting to basement level, removal of partitions and ceilings to third floor level as part of the required Enabling Works for the refurbishment of the listed building.
 (Reconsultation following amendments to documentation)

NON Applications Decided: 1

Application No: **HGY/2022/2144** Officer: Sarah Madondo
 Decision: GTD Decision Date: 30/08/2022
 Location: Woodside High School White Hart Lane N22 5QJ
 Proposal: Non material amendments following a grant of planning HGY/2021/2377 for the addition of steps to the east elevation, omission of double leaf access door to east elevation, addition of accurate topographical levels and addition of spandrel panels to the north elevation.

PNE Applications Decided: 2

Application No: **HGY/2022/1765** Officer: Oskar Gregersen
 Decision: PN NOT REQ Decision Date: 10/08/2022
 Location: 6 St Albans Crescent N22 5NB
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 2.98m and for which the height of the eaves would be 2.76m.

Application No: **HGY/2022/2034** Officer: Laina Levassor
 Decision: PN NOT REQ Decision Date: 30/08/2022
 Location: 45 Dunbar Road N22 5BG
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 3.83m, for which the maximum height would be 3.2m and for which the height of the eaves would be 3m

RES Applications Decided: 1

Application No: **HGY/2022/0519** Officer: Emily Whittredge
 Decision: GTD Decision Date: 28/07/2022
 Location: 21 Stuart Crescent N22 5NN
 Proposal: Details of method of construction statement pursuant to condition 4 of planning permission HGY/2020/3194 (Demolition of existing garage and construction of a single storey dwelling plus basement)

TPO Applications Decided: 1

Application No: **HGY/2022/1624** Officer: Matthew Gunning
 Decision: GTD Decision Date: 05/08/2022
 Location: 49 Myddleton Road N22 8LZ
 Proposal: Works to tree protected by a TPO. T1 Ash Crown reduction works to the previous and outermost pruning points would be considered to be appropriate tree management in respect to the juxtaposition with residential properties (Ref: TPO 2985 Tree Work Report.pdf). This is interpreted by Tree Surgeon Mint & Swift Trees as overall crown reduction by approximately 30%. (Ref: 20070610-IN_72408240.pdf).

Total Applications Decided for Ward: 347

WARD: **Not Applicable - Outside Borough**

OBS Applications Decided: 2

Application No: **HGY/2022/1021** Officer: Christopher Smith
 Decision: RNO Decision Date: 24/08/2022
 Location: Land Adj To 114 Coppetts Road N10 1JS
 Proposal: Redevelopment to provide 9no. self-contained flats and 6no. terraced houses in two blocks of 3 to 4 storeys with associated amenity space, hard and soft landscaping, car and cycle parking (Observations to L.B. Barnet - their planning reference 22/1308/FUL)

Application No: **HGY/2022/1104** Officer: Christopher Smith
 Decision: RNO Decision Date: 18/08/2022
 Location: 14 to 40 Newnton Close and 456-484 Seven Sisters Road N4 2RQ
 Proposal: Demolition of existing buildings and redevelopment to provide 2no. buildings, 1no. part 5-storeys, part 7-storeys and 1no. 10 storeys comprising a total of 76 no. retirement apartments and communal facilities, together with associated works and landscaping. For the purposes of consultation only - the proposed accommodation comprises 54no. 1bed units and 22no. 2bed units and 100% affordable housing [March 2022 reconsultation - revisions include amendments to the design and materiality and the ground floor layout of the northern (10 storey) building, and the submission of additional/amended supporting information] (Observations to L.B. Hackney - their reference 2021/2732)

Total Applications Decided for Ward: 2**Total Number of Applications Decided: 776**

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